



**TOWN OF SUMMERVILLE
COMMERCIAL DESIGN REVIEW BOARD – AGENDA
Summerville Municipal Complex
Annex Building 2nd Floor Training Room
June 15, 2017 4:00 p.m.**

Approval of May 18, 2017 minutes and May 22, 2017 workshop minutes.

APPLICANTS –

For additional information regarding this public meeting please contact the Planning Department at 843.851.5200. All applications and related documents for this public meeting are available for review at the Planning Department during regular business hours, Monday–Friday, 8:30–5:00 excluding Town of Summerville holidays.

OLD BUSINESS:

- 1. Taco Bell Oakbrook – 10115 Dorchester Road – Landscape mulch change (B-3)**
The applicant is for approval of a change to their previously approved mulch material.
- 2. Firestone Complete Auto Care – Grandview Drive – New building construction (B-3)**
The applicant is applying for preliminary and final approval to construct an auto service facility.
- 3. ~~NoMa – E. 1st North Street & N. Magnolia Street – New building construction (B-3)~~**
The applicant is applying for preliminary approval to construct a loft apartment building. Withdrawn by applicant on June 14, 2017

NEW BUSINESS:

- 1. Summerville Fire & Rescue Station 3 – 1703 Old Trolley Road – Demolition and new building construction (PL)**
The applicant is applying for final approval to demolish the existing fire station and construct a new station.
- 2. Hudson Nissan Summerville – Sheep Island Road & Holiday Drive – New building construction (B-3)**
The applicant is applying for conceptual review to construct a car dealership.
- 3. Veterinary Specialty Care – 319 E. 3rd North Street – New building construction (B-3)**
The applicant is applying for preliminary approval to construct a veterinary clinic.
- 4. Signs**
Any additional signs as needed

MISCELLANEOUS:

ADJOURN:

Posted June 8, 2017
Amended & reposted June 14, 2017

Commercial Design Review Board Minutes
Thursday, May 18, 2017
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Michael Gregor
Mildred Blanton
Chris Campeau
Bill Beauchene
Jenny Palmer

Staff Present:

Tim Macholl, Annexation & Development Coordinator
Rich Palmer, Chief Building Official
Bonnie Miley

Items on the agenda:

OLD BUSINESS:

1. Taco Bell Oakbrook – 10115 Dorchester Road – Landscape Mulch Change (B-3)
2. NoMa – E. 1st North Street & N. Magnolia Street – Signage (B-3)

NEW BUSINESS:

1. Zaxby's – 1629 Central Avenue – New Building Construction (B-3)
2. Firestone Complete Auto Care – Grandview Drive – New Building Construction (B-3)
3. Dorchester County EMS #2 – 727 Traveler's Boulevard – New Building Construction (PL)
4. Oscar's – 207 W. 5th North Street – New Pergola & Outdoor Seating Area (B-3)
5. East Bay Deli – Ladson Road & Wallace Ackerman Drive – New Building construction (B-3)
6. Signs

MISCELLANEOUS:

The meeting was called to order at 4:00 pm by the Chairman. The Chairman asked for consideration of the minutes of the March 16, 2017 meeting. A motion for approval of the minutes was made by Chris Campeau and a second was made by Bill Beauchene. All voted in favor of the motion.

OLD BUSINESS

1. **Taco Bell Oakbrook:** The first item under Old Business was proposed changes to the previously approved Taco Bell on Dorchester Road. No representatives were present to address the request so Chris Campeau moved to have the item heard at the end of the meeting after new business, the motion was seconded by _____, the motion passed unanimously.
2. **NoMa Signs:** The second item under old business was a proposal for the signage package for the NoMa project at E. 1st North Street and N. Magnolia Street. The applicant Mr. Dennis Ashley was present and presented to the board concerning the all of the signage, and the proposed color scheme. The signs will be constructed entirely of wood with black lettering and will be put up as soon as possible.

Mr. Campeau made a motion for approval as presented with the color choice at the discretion of the applicant. The motion was seconded by Mr. Beauchene, The motion passed unanimously.

NEW BUSINESS

1. **Zaxby's Central Avenue:** The first item under New Business is a request for Conceptual Review for a new Zaxby's Restaurant at the corner of Central Avenue and Cotton Hill Road. Mr. Greg Cater presented the project to the Board. Mr. Cater addressed the staff comments and indicated that a final site plan is forthcoming. The building will have only 90 seats and that a parking justification letter would be provided. He also indicated that sidewalks along both streets will be provided on final plan. Mr. Beauchene asked how stormwater would be handled and the applicant said that he understood the need for the stormwater issue and that the engineers are working on a stormwater plan was in the works. They will be applying for the appropriate permits for the

encroachments on both rights of way. The board complimented the general architecture of the building and Mr. Cater said that this is a new prototype store that they will be going with. It will have hardi plank siding. At final a landscape plan, lighting plan and signage plan will be provided. The Board indicated that they felt that the plan was on the right path for design.

No further action was required for conceptual review, and none was taken.

2. Firestone Complete Auto Care: The next item under New Business was conceptual review for a new Firestone Complete Auto Care at the corner of 78 and Berlin G. Meyers Parkway. Mr. Andrew Davies and Mr. Chris Orman of Pavilion Development presented the project to the board. Mr. Orman indicated that the orientation of the building was dictated by the easements that exist on the site. The applicant indicated that the dumpster is located at the back of the building by the loading dock. Based on the parking requirements and how the building is used they have determined that they will need seven pervious parking spaces and they will address this at final. The board felt that it was a well-designed building. Mr. Gregor suggested that awnings or canopies should be added over the garage doors to break up the façade and to provide protection for the bays from the weather. Mr. Campeau discussed the possibility of the construction of a low masonry wall along the edge of the parking lot to provide screening of the cars parked at that location. Discussion concerning the costs associated with a wall as opposed to a landscaped hedge ensued, the applicant indicated that they would do a cost analysis of both to determine which is right to provide the appropriate screening for the corner. Discussion concerning site lighting and that there are no wall packs and that all lighting should be shielded. Mr. Campeau asked about sidewalks and Mr. Macholl indicated that sidewalks were requested along 78 and into the site to connect to the existing sidewalk along Grandview.

No further action was required for conceptual review, and none was taken.

3. Dorchester County EMS #2: The next item was preliminary approval for the construction of a new EMS station located on the north side of Traveler's Boulevard. Mr. Will Buchanan and Mr. Joey Chapman of Johnson Lashober & Associates presented the plan to the Board. Mr. Buchanan went over the staff's preliminary comments. Concerning the location of the building he indicated that they will be filling the wetlands onsite because even with placing the building on the other side the existing easement still pushed the building into the wetlands, so to keep with Dorchester County's preference for a straight driveway they would be apply for the permit to fill the wetland, they are currently in for review for that permit. Concerning staffing they indicated that the building would be staffed 24/7 but with no need for sleeping quarters. Mr. Palmer indicated that the building code does require a sidewalk for the egress door in the ambulance bay, the applicant said that they would look into addressing that. Mr. Buchanan asked about the buffer requirement based on the zoning. Mr. Macholl clarified the zoning of the property, and clarified the front buffer requirements and required five foot border requirement. Mr. Campeau discussed the landscaping plan, and indicated that the use of palms is not permitted as part of the requirements, they can be used as accent but they do not fulfill the planting requirement. He also requested that sod be used throughout the site including for the pond especially for any property that is within public view. He also recommended looking for an alternative species for the live oaks, currently there is a shortage and they are more expensive. Mr. Buchanan indicated that there would not be a dumpster and residential carts could be used. Discussion concerning the photometrics resulted in Mr. Campeau recommending that a light be moved closer to the front drive to illuminate the drive better. Exterior colors were discussed for the brick, roof, and hardi plank to be used on the building. Mr. Campeau asked about the architecture, specifically the possible use of a black roof and the proposed cupola on the building, the rest of the board felt the proposed green was alright and that the cupola was not a problem. The board discussed whether they had enough for Final Approval. Mr. Campeau wanted the applicants to revise the landscape plan and resubmit to staff for review.

Mr. Beauchene made a motion for final approval for the construction of a new EMS Station with the conditions as noted. Mr. Campeau made the second. The motion passed unanimously.

4. Oscar's: The next item on the agenda was for Final Approval for the construction of a new pergola and outdoor dining area to be built at the front of Oscar's located at 207 W. 5th North Street. Mr. Michael Amerson of Amerson Construction presented for the applicants. Mr. Amerson discussed cutting out the existing pavement and replacing it with poured concrete pad, travertine tile would be placed and the black pergola attached to the pad. This would be a weather proof pergola with silver metal panels on top to provide cover. Lighting and a couple ceiling fans would be included. Drainage would be taken off to the side. The proposed pergola will not tie into the existing structure. This would be a controlled enclosed area with stuccoed CMU walls separated by decorative metal panels. Mrs. Blanton recommended that the metal panels be black panels. The board discussed the placement of the pergola and the design elements proposed.

Ms. Blanton made a motion for final approval, and Mr. Campeau made the second. The motion passed unanimously.

5. East Bay Deli: The next item on the agenda was a conceptual review for the proposed development at the corner of Ladson Road and Wallace Ackerman Drive. Mr. Elliot Locklair and Mr. Edward Tupper presented the project to the Board. Mr. Locklair explained the proposal to consist of the front retail/restaurant with a separate retail building, and finally an office on the rear portion of the property. The project would be phased with the deli and retail coming first and the small retail pad possibly in the first phase, with the office portion being in the second phase. Mr. Locklair asked about reduction of the front setback for the first building to bring it to the corner with a reduced setback of 10 feet. Mr. Locklair explained that this conceptual plan shows an excess of parking just to determine the maximum parking that could be constructed, and that the final wouldn't show that many spaces. Mr. Locklair explained the access to the site with the first entrance, closest to Ladson, most likely being a right-in/right-out only drive, and the second access near the middle of the site being designed as the main access to the development. The third access would be a full access as well. Mr. Campeau asked about the office building and whether it would have roll up doors on the back. Mr. Tupper explained that the owner of the property would be using the majority of the building and would design it to meet his needs, with some excess space possibly leasable.

Mr. Gregor asked for public input. Ms. Tracee Doroski of the Summerwood Homeowners Association asked some questions concerning the project. Ms. Doroski had concerns with the required setbacks along the subdivision, and how construction traffic would be handled. Mr. Tupper explained the construction timeline and where construction vehicles would be parked during the construction, and that they shouldn't be parking on Summer Drive. Ms. Theresa Zahloh expressed concerns about traffic and egress out of the Summerwood subdivision. Ms. Doroski asked about stormwater and there was discussion concerning stormwater controls on site and those requirements. Summerwood backs up to Eagle Creek and has flooded twice in the last two years. Mr. Campeau explained that all runoff should be contained on site and released at a very specific rate. Ms. Zahloh asked how the property would control trash from the restaurant and retail. Mr. Tupper responded that trash would be dealt with by the operators of the site and not by the developers. Mr. Gregor asked if the residents would want a pedestrian connection to the development and both Ms. Doroski and Ms. Zahloh both said no.

Mr. Gregor expressed that conceptually that the plan is good and that they are on the right track considering the constraints of the site. The board addressed that the setback can be reduced by the board and that they would encourage the reduction of that setback.

No further action was required for conceptual review, and none was taken.

6. Signs: There were no signs to discuss.

MISCELLANEOUS:

No Miscellaneous items for discussion.

ADJOURN:

There being no further business, the meeting was adjourned at 6:33 PM on a motion by Mr. Beauchene and a second by Mr. Campeau.

Respectfully Submitted,

Date: _____

Tim Macholl
Annexation & Development
Coordinator

Approved: Michael Gregor, Chairman _____; or,

Chris Campeau, Vice Chairman _____

Commercial Design Review Board Minutes
Workshop
Thursday, May 22, 2017
Summerville Municipal Complex –Annex Building Training Room

Members Present:

Michael Gregor
Bill Beauchene
Mildred Blanton
Chris Campeau
Jenny Palmer
Candy Pratt
Carolyn Rogerson

Staff Present:

Jessi Shuler, AICP, Director of Planning/
Zoning Administrator
Tim Macholi, Annexation & Development
Coordinator
Meredith Detsch, Town Planner
Bonnie Miley, Assistant Town Engineer

Items on the agenda:

1. Draft UDO Chapter 4: Building Design workshop

The workshop began at 2:30 PM led by Craig Lewis with Stantec, who is the consultant drafting the Town's new UDO. Mr. Lewis explained the reasoning behind the drafting of a building and site design chapter, and how it would work in coordination with the CDRB's current role. He stated that all new commercial construction (except in the Historic District) would still come before the Board. Mr. Lewis went on to explain that he felt that the Board needed to determine what they felt were minimum standards and should be required for all development and what they felt should be more discretionary guidelines. He did explain further that applicants would still be able to request exceptions from the Board to the minimum standards. Following his introduction, the Board, staff, and Mr. Lewis went through the draft chapter and discussed the various proposed standards and guidelines. This discussion provided Mr. Lewis with information to be able to make changes to the existing draft to better address the Board's concerns. Mr. Lewis stated that he would work with staff to edit the existing draft that would be brought back to the CDRB for further comment.

ADJOURN:

There being no further business, the meeting was adjourned at 4:30.

Respectfully Submitted,

Date: _____

Jessi Shuler
Director of Planning

Approved: Michael Gregor, Chairman _____; or,

Chris Campeau, Vice Chairman _____

**STAFF REPORT
CDRB Meeting
June 15 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 7, 2017

GENERAL INFORMATION

Applicant: Taco Bell Oakbrook
Property Owner: Warren Nelson/JEM Restaurants
Requested Action: The applicant is applying for a change to their previously approved mulch
Requested Approval: Change in Approval
Existing Zoning: B-3, General Business
Location: 10115 Dorchester Road
Existing Land Use: Restaurant

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Recommendation:

The previous approval was for pine straw mulch. Applicant is concerned over the material as it is a fire hazard. The applicant is open to alternatives including colored rock or other materials. The applicant is seeking advice from the board on what type of material will be appropriate that is non-combustible. The Town's Engineering Department has concerns over the type of material they will be using. Stormwater drainage could become an issue depending on the type of material approved.

**STAFF REPORT
CDRB Meeting
June 15, 2017 at 4:00 p.m.**

TO: Town of Summerville CDRB

FROM: Planning Staff

DATE: June 7, 2017

GENERAL INFORMATION

Applicant: Firestone Complete Auto Care

Property Owner: Pavilion Development

Requested Action: The applicant is requesting preliminary and final approval to construct an auto service facility

Requested Approval: Preliminary and final Review

Existing Zoning: B-3, General Commercial

Location: At the northwest corner of Berlin G Meyers Parkway and Highway 78

Existing Land Use: Vacant

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

(See back for additional comments)

Staff Comments:

The plan is showing 30 parking spaces, based on staff's calculations only 23 parking spaces are required. Section 32-291 (a) requires that all parking over the minimum should be constructed with pervious materials. The plans are only showing 5 pervious parking spaces. A parking justification letter has been submitted addressing why the need for additional parking as well as the use of the facility. The applicant must also provide proof that permission has been granted for the parking encroachments shown on the plan and staff has not been notified of this to date, the applicant is working with the appropriate utility companies. All parking lot islands now meet the minimum allowed square footage of space. A dumpster location is now indicated on the proposed plan but no screening design has been submitted. The fire department connection and the sprinkler riser room is now located on the front of the building. Per Engineering's comments all sidewalks must be within the right of way, not on private property. The applicant should coordinate with SCDOT to get encroachment permits for sidewalks. Handicap accessibility is needed at the corner of Berlin G. Myers Parkway and Highway 78 and reconfigured so that it will terminate to Highway 78 and Berlin G. Myers Parkway into a potential crosswalk. Right angle jogs in the sidewalk are not recommended, the applicant will need to work with the Engineering Department to determine best route. Landscaping requirements are not met based on the location (front and side borders) and species called out on the plans. Permission may be needed from the utility companies to plant trees within their easements, applicant will verify this as there are several General Utility lines shown on the plans. The lighting plan is meeting the average allowed but is towards the upper end with an average of 2.95 lumens. All lighting appears to be shielded per the lighting package. Awnings have been added over the bays per the board's request. Monument sign location does not meet ordinance requirements of 10' off right of way; easement restrictions have limited the location. Other signs appear to meet zoning ordinance requirements. Since it is an auto repair establishment, it is excluded from the required bicycle parking space requirement.

Town of Summerville



Date Received: _____

Amount Paid: _____

Staff Initial: _____

Department of Planning & Development
200 S. Main Street
Summerville, SC 29483

COMMERCIAL DESIGN REVIEW BOARD APPLICATION

REQUIREMENTS: This application, **8 sets (11x17 size) of plans AND one digital copy** (site, landscape, and architectural), and any applicable fees (see fee schedule) must be submitted to the Department of Planning and Development at least 15 days prior to the Commercial Development Design Review Board meeting. Applications must include all applicable information required in the Commercial Design Review Application Checklist and **all sets of plans must be collated and folded**. Final plans must carry the seal of a registered architect or engineer licensed in the State of South Carolina. Applicants or a representative must be present for an item to be heard.

REQUEST:

_____ Conceptual Review (only requires photos of site, proposed building elevations, and site plan)

☒ Preliminary Approval (see attached checklist)

☒ Final Approval (see attached checklist)

Preliminary Approval Granted On: _____

PROJECT NAME: Firestone Complete Auto Care

PROJECT'S COMPLETE ADDRESS (if in shopping center, indicate name)

101 Grandview Drive, Summerville, SC 29483

PRIMARY CONTACT'S EMAIL ADDRESS: jburbridge@ceieng.com

Owner/Developer's Name Michael McDonald Firm Pavilion Development Phone (704) 944-5962

Primary Contact's Name Jenny Burbidge Firm CEI Engineering Phone (479) 273-9472

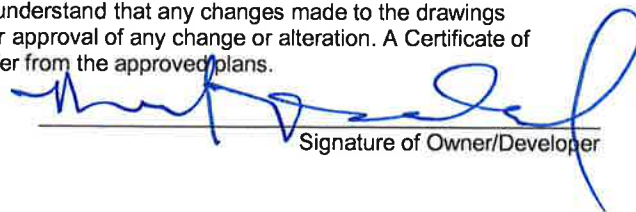
Architect's Name Jeff Dalton Firm SGA Design Group Phone (918) 587-8602

Landscape Arch. Name Jenny Burbidge Firm CEI Engineering Phone (479) 273-9472

Engineers Name Jenny Burbidge Firm CEI Engineering Phone (479) 273-9472

The Commercial Development Design Review Board will meet at 4:00 p.m. on May 18, 2017

I have read and understand the instructions accompanying this application form. I certify that all information required by the Site and Architectural Plan Checklist is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified and the application will be removed from the agenda. I also understand that any changes made to the drawings approved by the Commercial Design Review Board must be resubmitted for approval of any change or alteration. A Certificate of Occupancy will not be issued if the building and/or site and landscaping differ from the approved plans.


Signature of Owner/Developer

Town of Summerville

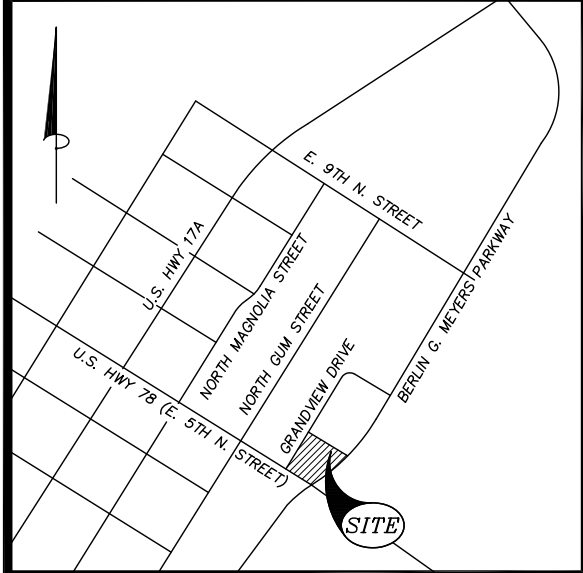


Department of Planning & Development

COMMERCIAL DESIGN REVIEW BOARD APPLICATION CHECKLIST **MUST BE COMPLETED AND SUBMITTED WITH APPLICATION PACKAGE**

The Commercial Design Review Board meets the third Thursday of each month. Without exception, all required materials must be submitted by close of business 15 days prior to the meeting to be placed on the agenda. Materials shall be 11x17 with one digital copy to scale for staff review.

- ☒ Tax Map Number(s) for proposed property.
- ☐ N/A Tree survey of parcel as well as proposed footprint of building(s). *(If applicable)*
- ☒ Site plan, drawn to scale showing exact size, shape and location of existing and/or proposed buildings.
- ☒ Site plan (see above) overlaid on tree survey of existing site. *(If applicable)*
- ☒ For signs, overall dimensions of sign(s), location and/or placement of sign, and dimensions of front of building.
- ☒ Advertising features and signs, including material type, lighting (if any), and colors. *(If applicable)*
- ☒ Floor plan.
- ☒ All proposed building elevations.
- ☒ Color rendering and/or samples of colors to be used in proposed project.
- ☒ Materials to be used in the proposed project (bring samples to meeting).
- ☒ Location and layout of parking areas and driveways.
- ☒ Pervious/impervious surface calculations.
- ☒ Proposed grade and drainage plans. *(If applicable)*
- ☒ Proposed water and sewer facilities including electrical gas, cable, etc. *(If applicable)*
- ☒ Landscaping plans including screening and fencing, and showing any existing trees to be saved.
- ☐ Photometric plan of site lighting (manufacturer's specifications will be accepted) and cut sheets showing light fixtures and specifications (i.e. pole height). *(If applicable)*
- ☒ Photographs of the proposed project site, properties on either side of proposed site, and of properties across the street from the project site.



VICINITY MAP (NTS)

REFERENCES:

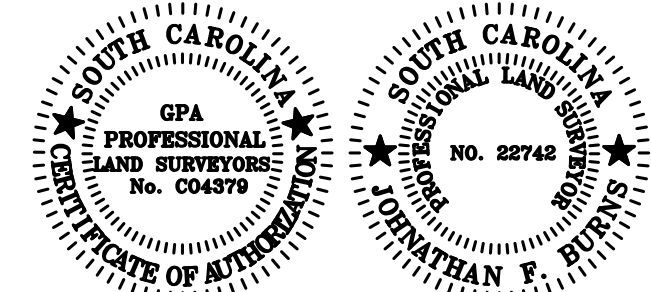
- 1) PLAT BY ASSOCIATED SURVEYORS OF SUMMERVILLE, DATED MAY 11, 2006, RECORDED IN PLAT BOOK L, PAGE 009, DORCHESTER COUNTY RMC.
- 2) PLAT BY ASSOCIATED SURVEYORS OF SUMMERVILLE, DATED MAY 3, 1999, RECORDED IN PLAT BOOK J, PAGE 149, DORCHESTER COUNTY RMC.
- 3) SC DOT PLANS FILE NO. 0818 554, PROJECT NO. F-0008(085).
- 4) PLAT BY GPA PROFESSIONAL LAND SURVEYORS, DATED JUNE 12, 2015, RECORDED IN PLAT BOOK M, PAGE 61, DORCHESTER COUNTY RMC.
- 5) SANITARY SEWER & WATER AS-BUILT DRAWING PREPARED BY ISLAND SURVEYING, INC., DATED APRIL 26, 2006.

NOTES:

- 1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
- 2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- 4) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
- 5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF CONTAMINATION OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 6) THERE ARE NO APPLICABLE DORM CRITICAL LINE BUFFERS OR SETBACKS ON THIS PROPERTY.
- 7) DORCHESTER COUNTY TMS NO. 137-04-08-010, PROPERTY ADDRESS HAS NOT YET BEEN ASSIGNED.
- 8) ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM.
- 9) NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREON.
- 10) THE PROPERTY IS ZONED B-3 (GENERAL BUSINESS).
- SETBACKS:
FRONT= 30'
SIDE= BUFFER REQUIREMENTS FOR PROTECTION OF ADJACENT PROPERTY.
REAR= BUFFER REQUIREMENTS FOR PROTECTION OF ADJACENT PROPERTY.
-ADJACENT PRIVATE ROAD AND ADJACENT PARCEL ARE ZONED B-3 (GENERAL BUSINESS).
- 11) THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS, ALLEYS OR EASEMENT AREAS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, AND THERE ARE NO ENCROACHMENTS ONTO THE PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES EXCEPT AS SHOWN HEREON.
- 12) THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 13) THERE ARE NO PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES OR OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 14) THERE IS NO OBSERVED EVIDENCE OF SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 15) TRAVEL LANE WIDTHS WERE TAKEN FROM SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION (SCDOT) HIGHWAY PLANS, FILE NO. 0818.554.
- 16) THERE ARE NO WETLANDS LOCATED ON THIS PROPERTY.
- 17) THE LOCATION OF THE EXISTING UTILITIES SHOWN ON THIS SURVEY WERE TAKEN FROM OBSERVED EVIDENCE, UTILITY COMPANY UTILITY MARKINGS AND PLANS/ASBUILTS OBTAINED THROUGH UTILITY COMPANIES.
- 18) THE RAILROAD TIE RETAINING WALL APPEARS TO BE CONSTRUCTED BY THE ADJOINING PROPERTY OWNER AND ENCROACHES ONTO THE SUBJECT PROPERTY 1.1' ON THE NORTHWESTERN END OF THE COMMON PROPERTY LINE AND 2.7' & 7.7' ON THE SOUTHEASTERN END OF THE COMMON PROPERTY LINE.
- 19) THE 15' EXISTING GENERAL UTILITY EASEMENT SHOWN HEREON WAS TAKEN FROM PLAT L-009, HOWEVER DEED 5191-267 SHOWS THE EASEMENT AS BEING PARALLEL AND ADJACENT TO THE R/W OF US HWY. 78.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAP, PANEL NO. 450068 0235C, REVISED APRIL 15, 1994. PRELIMINARY FEMA FLOOD MAP 45035C0343E SHOWS THE PROPERTY ALSO LOCATED IN FLOOD ZONE X (MAP IS ONLY PRELIMINARY AT THIS TIME).



SURVEYORS CERTIFICATE:

TO PAVLION DEVELOPMENT COMPANY, BRIDGESTONE RETAIL OPERATIONS, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND BRIDGE TRUST TITLE GROUP, AGENT FOR CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 8, 11, 13, 14, 16, 17, AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 05/10/2017.

DATE OF PLAT OR MAP: 05/10/2017

PRELIMINARY

JOHNATHAN F. BURNS
SCLS REGISTRATION NO. 22742
DATED: 5/18/2017

AGENCIES and CONTACTS

ELECTRIC:
SCE&G ELECTRIC & GAS
CONTACT: JEFF TITUS
PHONE: (843) 851-4920
(PUBLIC UTILITY)

GAS:
SCE&G ELECTRIC & GAS
CONTACT: STEVE RODGERS
PHONE: (843) 576-8925
(PUBLIC UTILITY)

WATER AND SEWER:
SCPW
CONTACT: CHRIS KAHLER
PHONE: (843) 875-8761
(PUBLIC UTILITY)

LEGEND

- IRON FOUND (5/8" REBAR)
- CONCRETE MONUMENT FOUND
- LIGHT POLE
- POWER POLE
- GUY WIRE
- ELECTRIC BOX
- WATER VALVE
- WATER METER
- GAS VALVE
- IRRIGATION CONTROL VALVE
- SEWER MANHOLE
- CLEAN OUT
- STORM DRAIN MANHOLE
- STORM/DRAINAGE STRUCTURES
- SPOT ELEVATION
- ADJOINER LINE
- RIGHT-OF-WAY
- CENTER LINE
- EASEMENT LINE (AS DESCRIBED)
- SETBACK LINE
- BUFFER LINE (AS DESCRIBED)
- CONTOUR LINE
- OVERHEAD POWER LINE
- SEWER LINE
- STORM DRAIN
- WATER LINE
- GAS LINE
- TELEPHONE
- FORCE MAIN
- CONCRETE
- ASPHALT

ELEVATIONS ARE BASED ON NAVD 1988 VERTICAL DATUM
STATE PLANE COORDINATES ARE GRID NAD 83-2011.

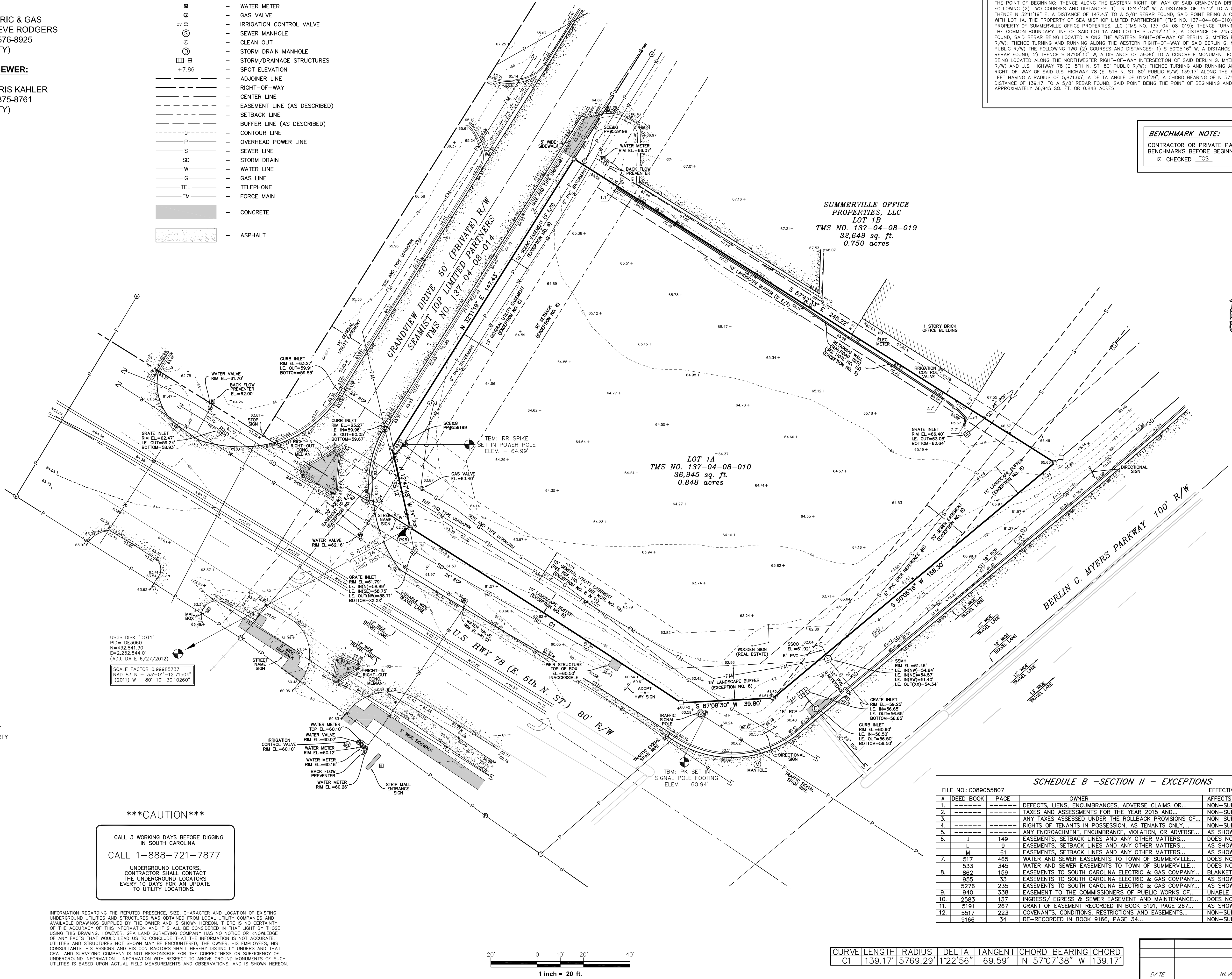
LEGAL DESCRIPTION - TMS NO. 137-04-08-010 - LOT 1A

ALL THAT CERTAIN PIECE, PARCEL OR LOT OF LAND KNOW AS NEW LOT 1A, SITUATE, LYING AND BEING IN THE TOWN OF SUMMERVILLE, COUNTY OF DORCHESTER, STATE OF SOUTH CAROLINA, BEING MORE FULLY SHOWN ON A SUBDIVISION PLAT SHOWING THE SUBDIVISION OF LOT 1 - TMS NO. 137-04-08-010, TO CREATE NEW LOT 1A AND NEW LOT 1B OWNED BY SEA MIST IOP LIMITED PARTNERS, RECORDED IN PLAT BOOK M, PAGE 61, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT A 5/8" REBAR LOCATED AT THE NORTHEASTERN RIGHT-OF-WAY INTERSECTION OF U.S. HIGHWAY 78 (E. 5TH N. ST. 80' PUBLIC R/W) AND THE SOUTHEASTERN LINE OF GRANDVIEW DRIVE (50' PRIVATE R/W), SAID REBAR BEING THE POINT OF BEGINNING; THENCE ALONG THE EASTERN RIGHT-OF-WAY OF SAID GRANDVIEW DRIVE (50' PRIVATE R/W) THE FOLLOWING (2) TWO COURSES AND DISTANCES: 1) N 12°47'48" W, A DISTANCE OF 35.12' TO A 5/8" REBAR FOUND; 2) THENCE N 32°11'19" E, A DISTANCE OF 147.43' TO A 5/8" REBAR FOUND, SAID POINT BEING A COMMON BOUNDARY CORNER WITH LOT 1A, THE PROPERTY OF SEA MIST IOP LIMITED PARTNERSHIP (TMS NO. 137-04-08-010) AND LOT 1B, THE PROPERTY OF SUMMERVILLE OFFICE PROPERTIES, LLC (TMS NO. 137-04-08-019); THENCE TURNING AND RUNNING ALONG THE COMMON BOUNDARY LINE OF SAID LOT 1A AND LOT 1B S 57°42'33" E, A DISTANCE OF 245.22' TO A 5/8" REBAR FOUND, SAID REBAR BEING LOCATED ALONG THE WESTERN RIGHT-OF-WAY OF BERLIN C. MYERS PARKWAY (100' PUBLIC R/W); THENCE TURNING AND RUNNING ALONG THE WESTERN RIGHT-OF-WAY OF SAID BERLIN C. MYERS PARKWAY (100' PUBLIC R/W) THE FOLLOWING TWO (2) COURSES AND DISTANCES: 1) S 50°05'16" W, A DISTANCE OF 158.30' TO A 5/8" REBAR FOUND; 2) THENCE S 87°08'30" W, A DISTANCE OF 39.80' TO A CONCRETE MONUMENT FOUND, SAID MONUMENT BEING LOCATED ALONG THE NORTHWESTER RIGHT-OF-WAY INTERSECTION OF SAID BERLIN C. MYERS PARKWAY (100' PUBLIC R/W) AND U.S. HIGHWAY 78 (E. 5TH N. ST. 80' PUBLIC R/W); THENCE TURNING AND RUNNING ALONG THE NORTHWESTERN RIGHT-OF-WAY OF SAID U.S. HIGHWAY 78 (E. 5TH N. ST. 80' PUBLIC R/W) 139.17' ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 5,871.65', A DELTA ANGLE OF 01°21'29", A CHORD BEARING OF N 57°07'38" W, AND A CHORD DISTANCE OF 139.17' TO A 5/8" REBAR FOUND, SAID POINT BEING THE POINT OF BEGINNING AND CONTAINING APPROXIMATELY 36,945 SQ. FT. OR 0.848 ACRES.

BENCHMARK NOTE:

CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.
☒ CHECKED TCS ☒ CHECKED JFB



SCHEDULE B - SECTION II - EXCEPTIONS

FILE NO. C089055807	DEED BOOK	PAGE	OWNER	EFFECTIVE DATE: APRIL 12, 2017
1	---	---	DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR...	NON-SURVEY
2	---	---	TAXES AND ASSESSMENTS FOR THE YEAR 2015 AND...	NON-SURVEY
3	---	---	ANY TAXES ASSESSED UNDER THE ROLLBACK PROVISIONS OF...	NON-SURVEY
4	---	---	RIGHTS OF TENANTS IN POSSESSION, AS TENANTS ONLY...	NON-SURVEY
5	---	---	ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION OR ADVERSE...	AS SHOWN
6	---	---	EASEMENTS, SETBACK LINES AND ANY OTHER MATTERS...	DOES NOT AFFECT
7	---	---	EASEMENTS, SETBACK LINES AND ANY OTHER MATTERS...	AS SHOWN
8	---	---	EASEMENTS TO SOUTH CAROLINA ELECTRIC & GAS COMPANY...	BLANKET
9	---	---	EASEMENTS TO SOUTH CAROLINA ELECTRIC & GAS COMPANY...	AS SHOWN
10	---	---	EASEMENT TO THE COMMISSIONERS OF PUBLIC WORKS OF...	UNABLE TO LOCATE
11	---	---	INGRESS, EGRESS & SEWER EASEMENT AND MAINTENANCE...	DOES NOT AFFECT
12	---	---	GRANT OF EASEMENT RECORDED IN BOOK 5191, PAGE 267...	AS SHOWN
13	---	---	COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS...	NON-SURVEY
14	---	---	RE-RECORDED IN BOOK 9166, PAGE 34...	NON-SURVEY

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	BEARING	CHORD
C1	139.17	5769.29	1°22'56"	69.59	N 57°07'38" W	139.17	

DATE	REVISION	BY



GPA OF CHARLOTTE, INC.
605 SHILOH CIRCLE DRIVE
CHARLOTTE NC 28236-6316
OFFICE (704) 335-8600

GPA OF RALEIGH, INC.
333 WADE AVENUE
RALEIGH NC 27605

CHARLESTON SC 29492
OFFICE (843) 971-9099
FAX (843) 971-9992

"Integrity Without Boundaries"
www.gpoland.com

SCALE

1"=20'

F.L.D. BK. PG.

JOB NO.

175064

DATE

05/10/2017

DRAWN BY

LHS

CHECKED BY

JFB

SHOWING LOT 1A, TMS NO. 137-04-01-010 OWNED BY

SEA MIST IOP LIMITED PARTNERS

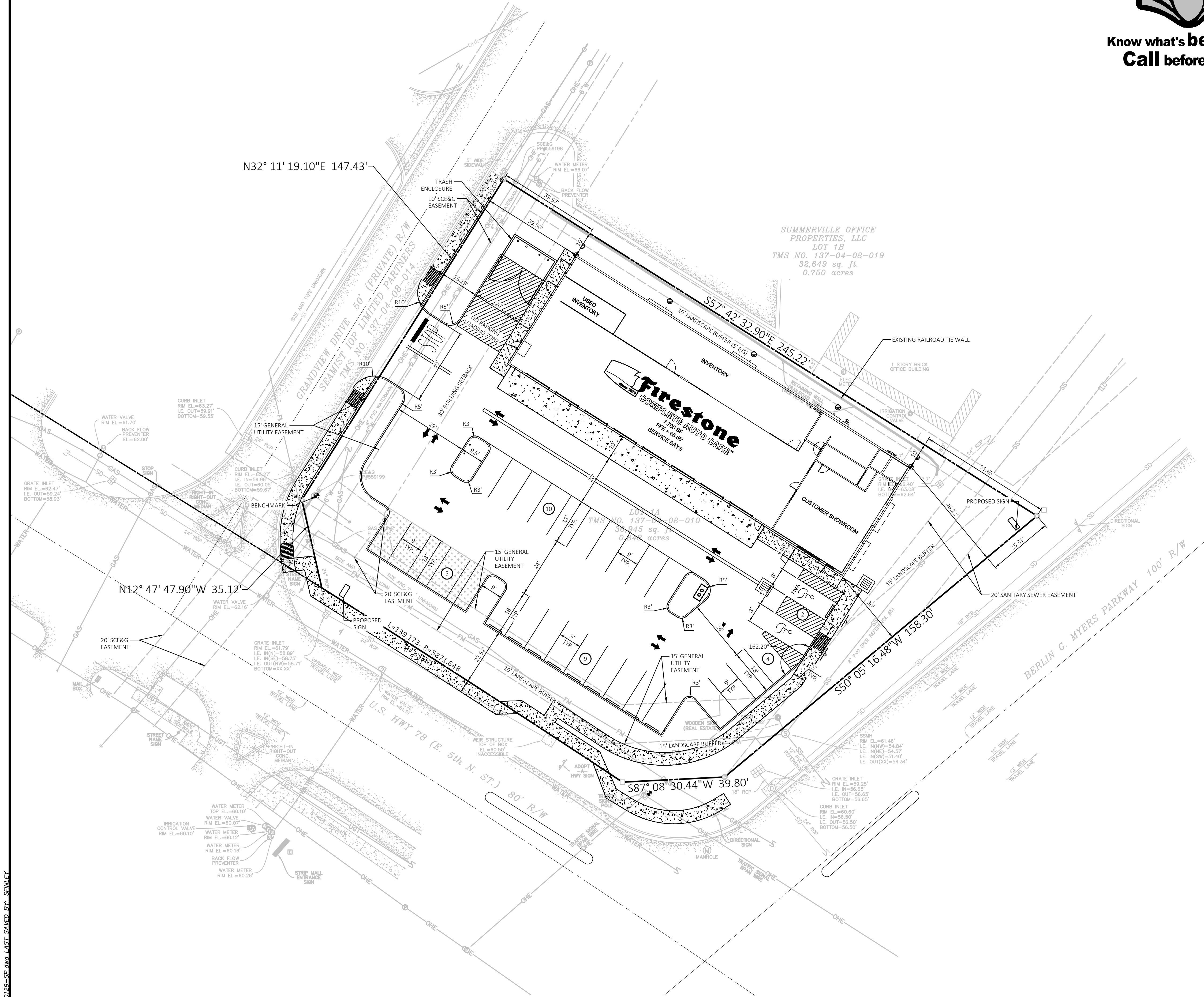
LOCATED IN THE TOWN OF SUMMERVILLE DORCHESTER COUNTY, SOUTH CAROLINA

ALTA / NSPS LAND TITLE SURVEY

PREPARED FOR
CET ENGINEERING, INC.

SHEET	OF
1	1

JOB: 30129 DRAWING: 30129-SP.dwg LAST SAVED BY: SPINLEY



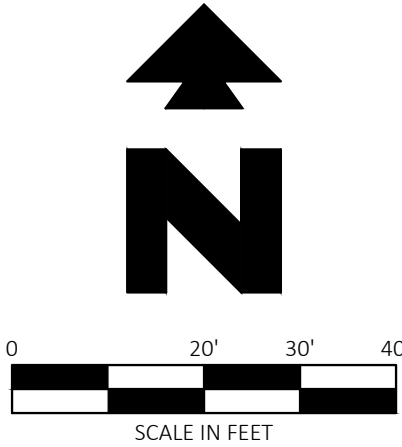
SITE BENCHMARK

TEMPORARY BENCHMARK 1: RR SPIKE SET IN POWER POLE.
ELEV=64.99'

TEMPORARY BENCHMARK 2: PK SET IN SIGNAL POLE FOOTING.
ELEV=60.94'































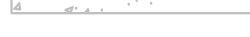


Know what's below.
Call before you dig.



Vicinity Map

Not to Scale

LEGEND

EXISTING			
	- IRON FOUND (5/8" REBAR)		- CENTER LINE
	- CONCRETE MONUMENT FOUND		- EASEMENT LINE (AS DESCRIBED)
	- LIGHT POLE		- SETBACK LINE
	- POWER POLE		- BUFFER LINE (AS DESCRIBED)
	- GUY WIRE		- CONTOUR LINE
	- ELECTRIC BOX		- OVERHEAD POWER LINE
	- WATER VALVE		- SEWER LINE
	- WATER METER		- STORM DRAIN
	- GAS VALVE		- WATER LINE
	- IRRIGATION CONTROL VALVE		- GAS LINE
	- SEWER MANHOLE		- TELEPHONE
	- CLEAN OUT		- FORCE MAIN
	- STORM DRAIN MANHOLE		
	- STORM/DRAINAGE STRUCTURES		- CONCRETE
	- SPOT ELEVATION		- ASPHALT
	- RIGHT-OF-WAY		
	- ADJOINER LINE		

PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE		
	CONCRETE CURB AND GUTTER.		
	SEE PAVING PLAN.		
	GRATE INLET		BOLLARD(S)
	BUILDING CONTROL POINT		FDC
	PROPOSED PARKING SPACES		
	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)		
	PERVIOUS PAVER PARKING AREA		

PROPERTY INFO		
PROPERTY AREA	36,945 SF	.848 ACRES
BUILDING AREA	7,700 SF	.177 ACRES
ZONING	B-3 GENERAL BUSINESS	
USE	AUTO SERVICE STATION	
IMPERVIOUS AREA	25,532 SF (69%)	.586 ACRES (31%)
OPEN SPACE	11,413 SF (31%)	.262 ACRES (69%)
SETBACKS	BUILDING	LANDSCAPE
FRONT (3 SIDES)	30 FEET	10 OR 15 FEET
SIDE (NONE)	N/A	N/A
REAR	N/A	10 FEET

PARKING RATIO		
	REQUIRED	PROVIDED
MINIMUM PARKING	1 + 1/ 250 SF OF NON-STORAGE FLOOR AREA 7700 SF(TOTAL SF) - 2095 SF (INVENTORY SF)=5605 SF 5605/250= 22.42 1+22.42= 23.42=23	1 + 1/ 250 SF OF NON-STORAGE FLOOR AREA
STANDARD PARKING	23 SPACES	25 SPACES
ACCESSIBLE PARKING	2 SPACES	2 SPACES
MINIMUM TOTAL	23 SPACES	25
MAX PARKING	105 % OF MIN PARKING 23.42 X 1.05= 24.59= 25 SPACES	5 SPACES OVER MINIMUM PARKING*
MAX TOTAL:	25 SPACES	5 SPACES*
TOTAL PARKING COUNT:	25 SPACES	30 SPACES*

*ALL PARKING SPACES ABOVE MAXIMUM MUST BE PERVIOUS.

TAX MAP #: 1370408010000
PRELIMINARY NOT FOR CONSTRUCTION

Engineering Associates, Inc.
CEI PROJECT NUMBER: 30129
REVISION: REV-0 DATE: 05/30/17

Firestone
COMPLETE AUTO CARE

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NEW FCAC STORE (8-BAY-FCAC-ER-LEFT)
101 GRANDVIEW DRIVE
SUMMERVILLE
SC 29483



6 DIGIT NO.: 021857
4 DIGIT NO.: N/A
ENTITY ID NO.: 822924
SITE ID NO.: 255
PROPERTY NO.: N/A

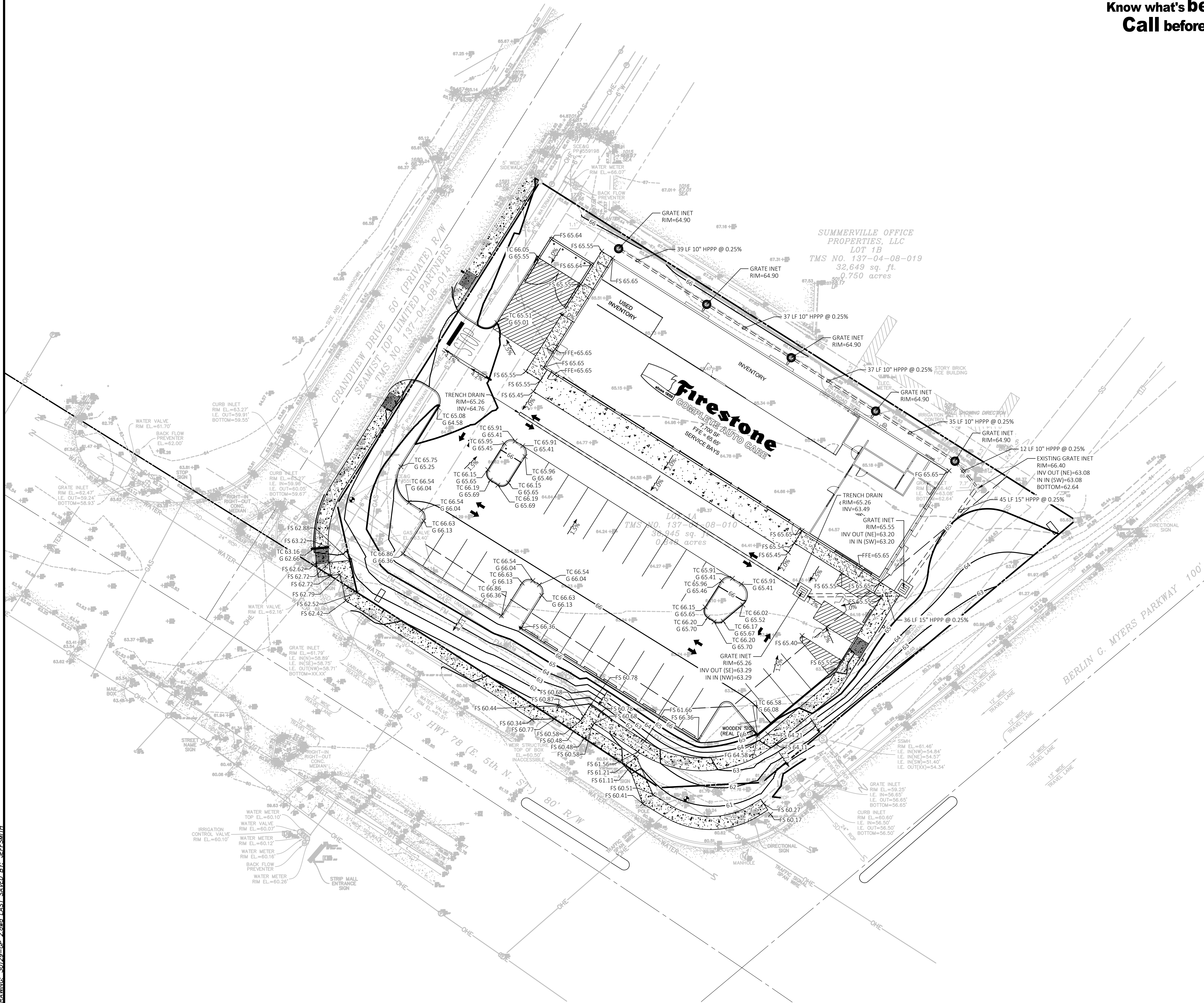
FILE NAME: 30129-SP.dwg
CEI PROJECT NUMBER: 30129
REVISION: REV-0 DATE: 05/30/17

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

C1

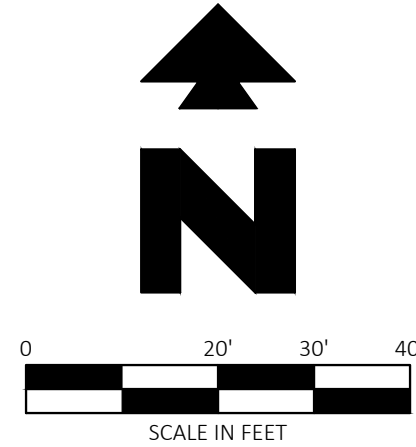
JOB: 30129 DRAWING: 30129-CP 2.dwg LAST SAVED BY: JEFFSMITH



SITE BENCHMARK
TEMPORARY BENCHMARK 1: RR SPIKE SET IN POWER POLE.
ELEV=64.99'
TEMPORARY BENCHMARK 2: PK SET IN SIGNAL POLE FOOTING.
ELEV=60.94'



Know what's below.
Call before you dig.



Vicinity Map

Not to Scale

LEGEND

EXISTING

- | | | | |
|--|-----------------------------|--|--------------------------------|
| | - IRON FOUND (5/8\"/> | | - CENTER LINE |
| | - CONCRETE MONUMENT FOUND | | - EASEMENT LINE (AS DESCRIBED) |
| | - LIGHT POLE | | - SETBACK LINE |
| | - POWER POLE | | - BUFFER LINE (AS DESCRIBED) |
| | - GUY WIRE | | - CONTOUR LINE |
| | - ELECTRIC BOX | | - OVERHEAD POWER LINE |
| | - WATER VALVE | | - SEWER LINE |
| | - WATER METER | | - STORM DRAIN |
| | - GAS VALVE | | - WATER LINE |
| | - IRRIGATION CONTROL VALVE | | - GAS LINE |
| | - SEWER MANHOLE | | - TELEPHONE |
| | - STORM/DRAINAGE STRUCTURES | | - FORCE MAIN |
| | - SPOT ELEVATION | | - CONCRETE |
| | - RIGHT-OF-WAY | | - ASPHALT |
| | - ADJOINER LINE | | |

PROPOSED

- | | |
|--|-----------------------------------|
| | - PROPERTY LINE/RIGHT OF WAY LINE |
| | - GRADE BREAK |
| | - CONTOUR ELEVATIONS |
| | - STORM DRAIN |
| | - SPOT ELEVATIONS: |
| | TC = TOP OF CURB |
| | G = GUTTER |
| | FS = FINISHED SURFACE |
| | FG = FINISHED GRADE |
| | FFE = FINISHED FLOOR ELEVATION |

Engineering Associates, Inc.
CEI
30129 GRANDVIEW DRIVE, SUITE 100
SUMMERVILLE, SC 29483
(843) 773-1644
FAX (843) 773-1644

Firestone
COMPLETE AUTO CARE
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NEW FCAC STORE (8-BAY-FCAC-ER-LEFT)

101 GRANDVIEW DRIVE

SUMMERVILLE

SC 29483

6 DIGIT NO.: 021857

4 DIGIT NO.: N/A

ENTITY ID NO.: 822924

SITE ID NO.: 255

PROPERTY NO.: N/A

FILE NAME: 30129-CP 2.dwg

CEI PROJECT NUMBER: 30129

REVISION: REV-0 DATE: 05/30/17

SHEET TITLE:

GRADING PLAN

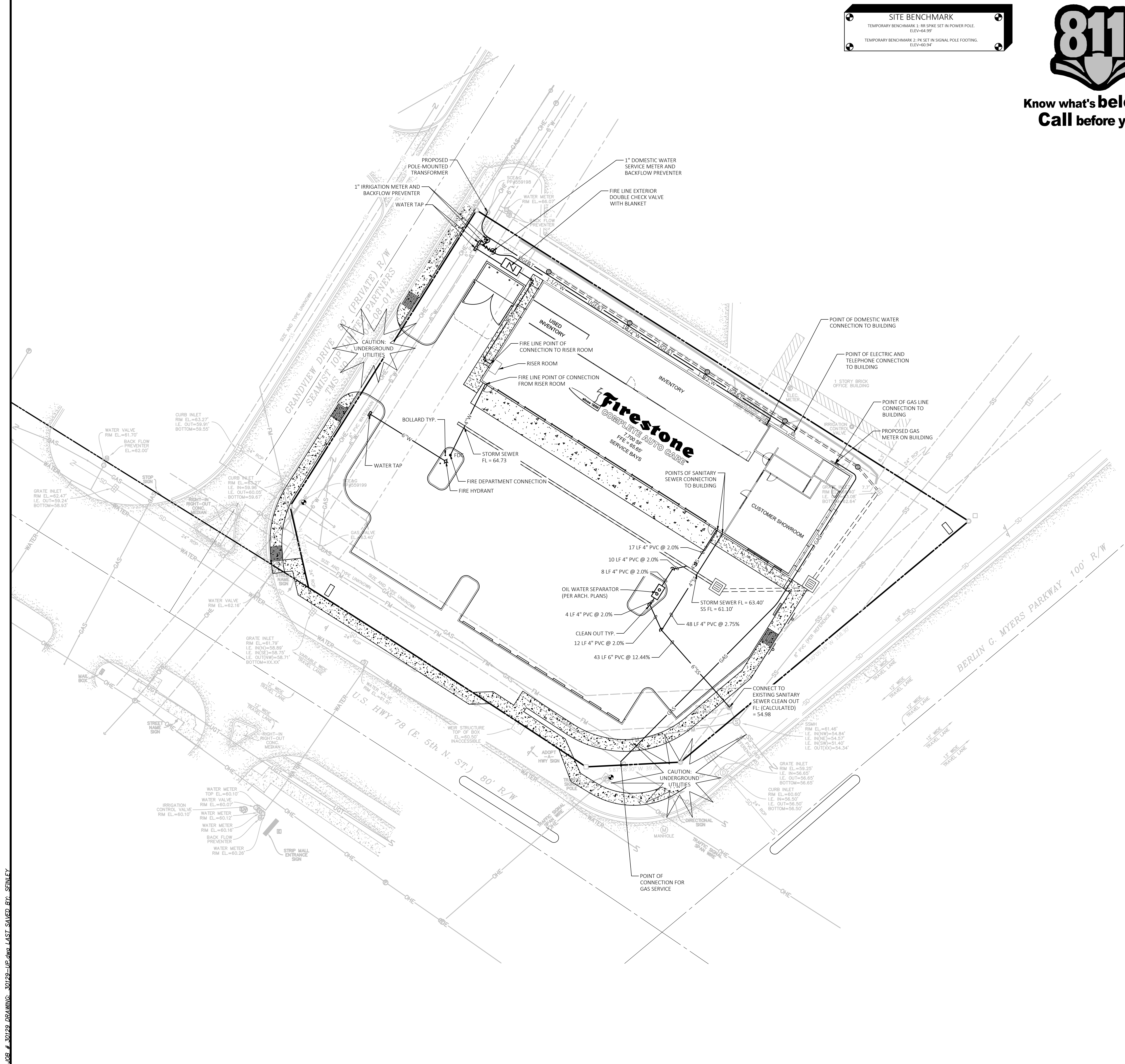
SHEET NUMBER:

30129

C2

TAX MAP #: 1370408010000
PRELIMINARY NOT FOR CONSTRUCTION

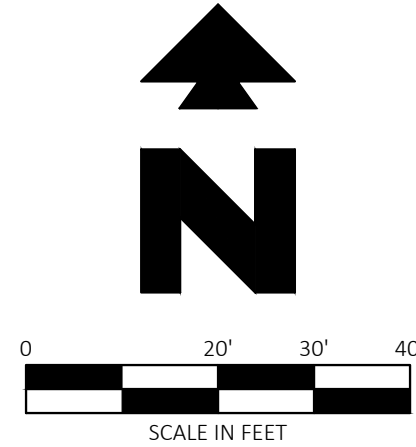
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SITE BENCHMARK
TEMPORARY BENCHMARK 1: RR SPIKE SET IN POWER POLE.
ELEV=64.99'
TEMPORARY BENCHMARK 2: PK SET IN SIGNAL POLE FOOTING.
ELEV=60.94'



Know what's below.
Call before you dig.



Vicinity Map

Not to Scale

LEGEND

EXISTING

	- IRON FOUND (5/8" REBAR)		- RIGHT-OF-WAY
	- CONCRETE MONUMENT FOUND		- CENTER LINE
	- LIGHT POLE		- EASEMENT LINE (AS DESCRIBED)
	- POWER POLE		- SETBACK LINE
	- GUY WIRE		- BUFFER LINE (AS DESCRIBED)
	- ELECTRIC BOX		- CONTOUR LINE
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	- WATER METER		- SEWER LINE
	- GAS VALVE		- STORM DRAIN
	- IRRIGATION CONTROL VALVE		- WATER LINE
	- SEWER MANHOLE		- GAS LINE
	- CLEAN OUT		- TELEPHONE
	- STORM DRAIN MANHOLE		- FORCE MAIN
	- STORM/DRAINAGE STRUCTURES		- CONCRETE
	- SPOT ELEVATION		- ASPHALT
	- PROPERTY LINE		
	- ADJOINER LINE		

PROPOSED

	- PROPERTY LINE/RIGHT OF WAY LINE
	- STORM DRAIN
	- GAS SERVICE
	- SANITARY SEWER SERVICE
	- UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
	- WATER SERVICE
	- FIRE DEPARTMENT CONNECTION
	- FIRE HYDRANT
	- SANITARY SEWER CLEAN OUT
	- SANITARY SEWER OIL/WATER SEPARATOR
	- EXTERIOR DOUBLE CHECK VALVE
	- BACKFLOW PREVENTER
	- WATER METER

GENERAL UTILITY NOTES

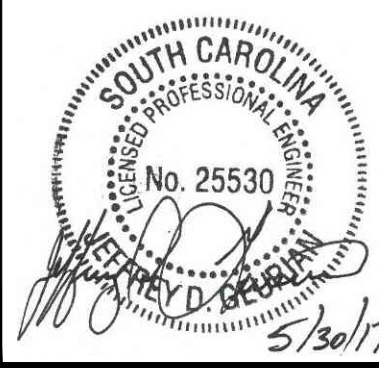
- ALL WATER LINES AND FIRE LINES SHALL BE INSTALLED PER SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS (SCPW) ENGINEERING DEPARTMENT.
- ALL SANITARY SEWER LINES SHALL BE INSTALLED PER SUMMERVILLE COMMISSIONERS OF PUBLIC WORKS (SCPW) ENGINEERING DEPARTMENT.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

Engineering Associates, Inc.
CEI
30129-UP.dwg
30129
5/30/17

Firestone
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NEW FCAC STORE (8-BAY-FCAC-ER-LEFT)
101 GRANDVIEW DRIVE
SUMMERVILLE
SC 29483



6 DIGIT NO.: 021857
4 DIGIT NO.: N/A
ENTITY ID NO.: 822924
SITE ID NO.: 255
PROPERTY NO.: N/A

FILE NAME: 30129-UP.dwg
CEI PROJECT NUMBER: 30129
REVISION: REV-0 DATE: 05/30/17

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:

C3

TAX MAP #: 1370408010000
PRELIMINARY NOT FOR CONSTRUCTION

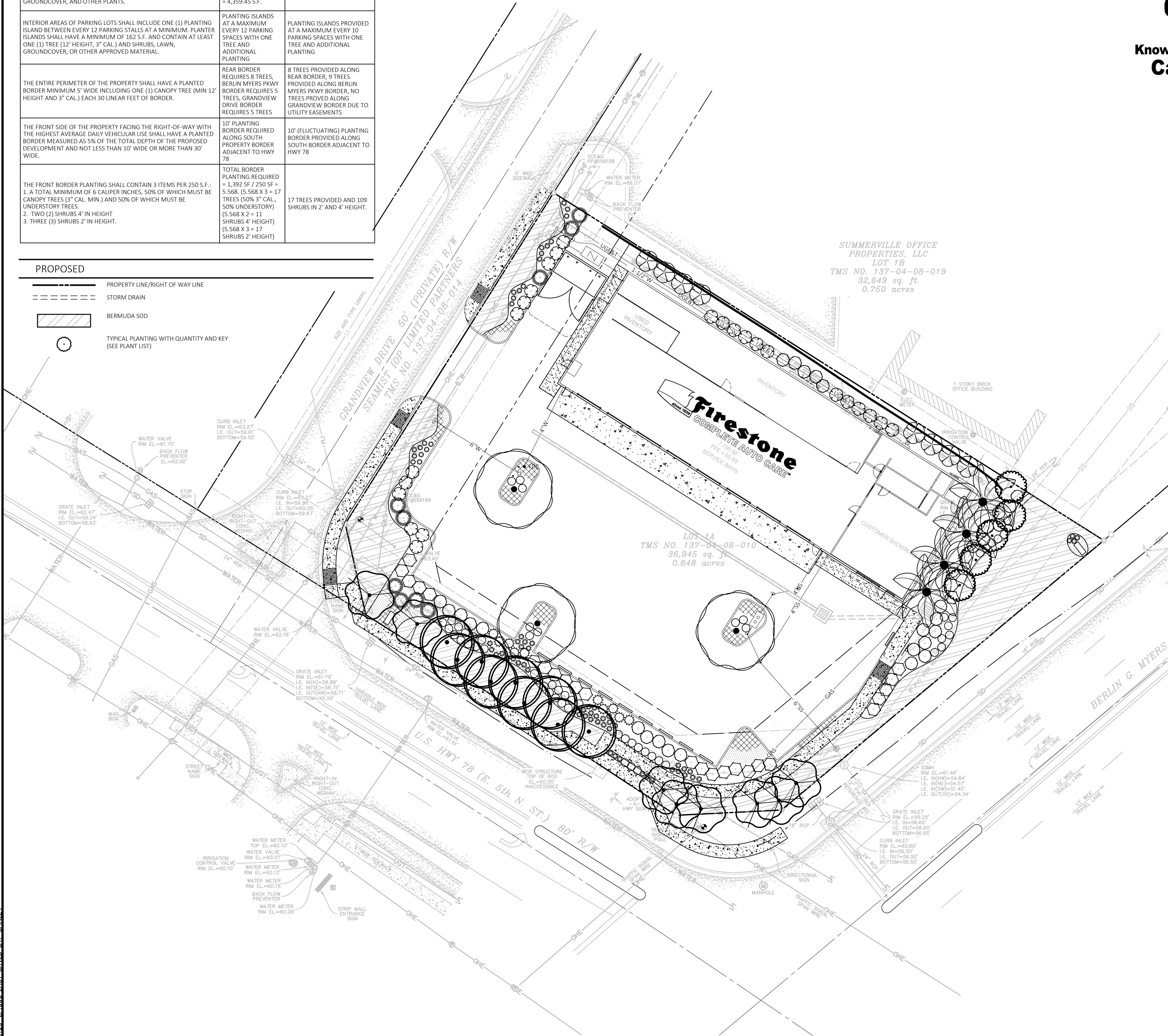
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LANDSCAPE REQUIREMENTS: PER CITY OF SUMMERVILLE ZONING ORDINANCE

	REQUIRED	PROVIDED
15% OF TOTAL AVAILABLE LAND AREA SHALL BE DEVOTED TO VEGETATIVE LANDSCAPING INCLUDING TREES, SHRUBS, GRASS, GROUNDCOVER, AND OTHER PLANTS.	29,063 TOTAL AVAILABLE S.F. X 15% = 4,359.45 S.F.	11,413 SF PROVIDED
INTERIOR AREAS OF PARKING LOTS SHALL INCLUDE ONE (1) PLANTING ISLAND BETWEEN EVERY 12 PARKING STALLS AT A MINIMUM. PLANTER ISLANDS SHALL HAVE A MINIMUM OF 162 S.F. AND CONTAIN AT LEAST ONE (1) TREE (12' HEIGHT, 3" CAL.) AND SHRUBS, LAWN, GROUNDCOVER, OR OTHER APPROVED MATERIAL.	PLANTING ISLANDS AT A MAXIMUM EVERY 12 PARKING SPACES WITH ONE TREE AND ADDITIONAL PLANTING	PLANTING ISLANDS PROVIDED AT A MAXIMUM EVERY 10 PARKING SPACES WITH ONE TREE AND ADDITIONAL PLANTING
THE ENTIRE PERIMETER OF THE PROPERTY SHALL HAVE A PLANTED BORDER MINIMUM 5' WIDE INCLUDING ONE (1) CANOPY TREE (MIN 12' HEIGHT AND 3" CAL.) EACH 30 LINEAR FEET OF BORDER.	REAR BORDER REQUIRES 8 TREES, BERLIN MYERS PKWY BORDER REQUIRES 5 TREES, GRANDVIEW DRIVE BORDER REQUIRES 5 TREES	8 TREES PROVIDED ALONG REAR BORDER, 9 TREES PROVIDED ALONG BERLIN MYERS PKWY BORDER, NO TREES PROVIDED ALONG GRANDVIEW BORDER DUE TO UTILITY EASEMENTS
THE FRONT SIDE OF THE PROPERTY FACING THE RIGHT-OF-WAY WITH THE HIGHEST AVERAGE DAILY VEHICULAR USE SHALL HAVE A PLANTED BORDER MEASURED AS 5% OF THE TOTAL DEPTH OF THE PROPOSED DEVELOPMENT AND NOT LESS THAN 10' WIDE OR MORE THAN 30' WIDE.	10' PLANTING BORDER REQUIRED ALONG SOUTH PROPERTY BORDER ADJACENT TO HWY 78	10' (FLUCTUATING) PLANTING BORDER PROVIDED ALONG SOUTH BORDER ADJACENT TO HWY 78
THE FRONT BORDER PLANTING SHALL CONTAIN 3 ITEMS PER 250 S.F.: 1. A TOTAL MINIMUM OF 6 CALIPER INCHES, 50% OF WHICH MUST BE CANOPY TREES (8" CAL. MIN.) AND 50% OF WHICH MUST BE UNDERSTORY TREES. 2. TWO (2) SHRUBS 4' IN HEIGHT 3. THREE (3) SHRUBS 2' IN HEIGHT.	TOTAL BORDER PLANTING REQUIRED = 1,392 SF / 250 SF = 5.568. (5.568 X 3 = 17 TREES) (50% 3" CAL., 50% UNDERSTORY) (5.568 X 2 = 11 SHRUBS 4' HEIGHT) (5.568 X 3 = 17 SHRUBS 2' HEIGHT)	17 TREES PROVIDED AND 109 SHRUBS IN 2' AND 4' HEIGHT.

PROPOSED

- PROPERTY LINE/RIGHT OF WAY LINE
- STORM DRAIN
- BERMUDA SOD
- TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)



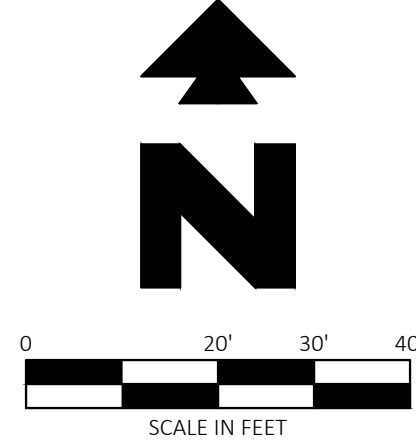
SITE BENCHMARK

TEMPORARY BENCHMARK 1: RR SPIKE SET IN POWER POLE. ELEV=64.99'

TEMPORARY BENCHMARK 2: PK SET IN SIGNAL POLE FOOTING. ELEV=60.94'



Know what's below.
Call before you dig.



NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVINGS, TRUCK DOORS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Vicinity Map

Not to Scale

LEGEND

EXISTING

- IRON FOUND (5/8" REBAR)

CONCRETE MONUMENT FOUND

LIGHT POLE

POWER POLE

GUY WIRE

ELECTRIC BOX

WATER VALVE

WATER METER

GAS VALVE

IRRIGATION CONTROL VALVE

SEWER MANHOLE

CLEAN OUT

STORM DRAIN MANHOLE

STORM/DRAINAGE STRUCTURES

SPOT ELEVATION

PROPERTY LINE

ADJOINER LINE

RIGHT-OF-WAY

CENTER LINE

EASEMENT LINE (AS DESCRIBED)

SETBACK LINE

BUFFER LINE (AS DESCRIBED)

CONTOUR LINE

OVERHEAD POWER LINE

SEWER LINE

STORM DRAIN

WATER LINE

GAS LINE

TELEPHONE

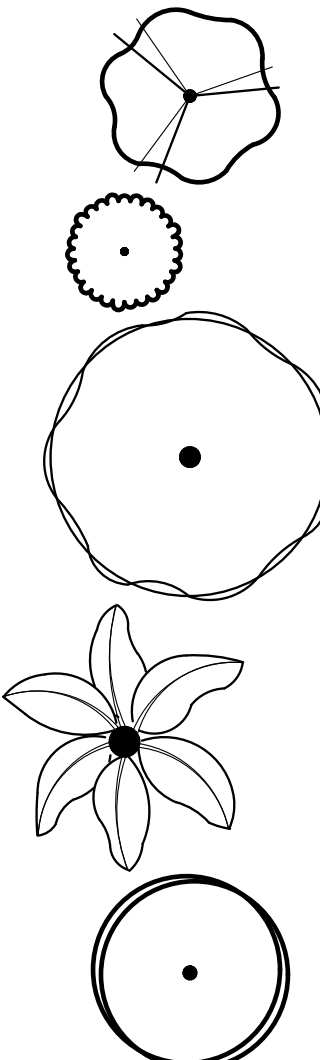
FORCE MAIN

CONCRETE

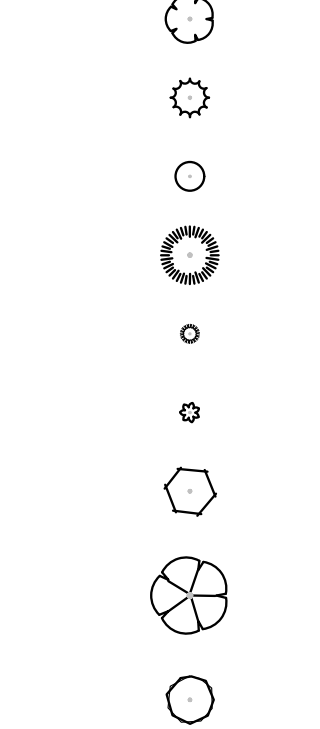
ASPHALT

PLANT SCHEDULE

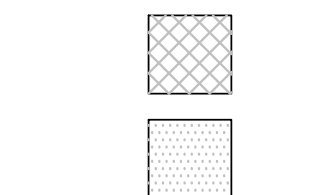
TREES



SHRUBS



GROUND COVERS



<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>	<u>QTY</u>	
Magnolia soulangiana 'Susan' / Susan Magnolia	B & B	1.5"	Cal	8	
Magnolia virginiana / Sweet Bay	B & B	1.5"	Cal	5	
Quercus shumardii / Shumard Red Oak	B & B	3"	Cal	12-15' H	3
Sabal palmetto / Cabbage Palmetto	B & B	3"	Cal	12-15' H	4
Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B & B	3"	Cal	12-15' H	9
<u>BOTANICAL NAME / COMMON NAME</u>	<u>SIZE</u>	<u>QTY</u>			
Gardenia jasminoides 'Radicans' / Cape Gardenia	5 gal	24			
Ilex cornuta 'Carissa' / Carissa Holly	5 gal	10			
Loropetalum chinense rubrum 'Jazz Hands' / Chinese Fringe Flower	3 gal	58			
Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 gal	9			
Nassella tenuissima / Texas Needle Grass	3 gal	22			
Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	3 gal	49			
Pittosporum tobira 'Variegata' / Variegated Mock Orange	5 gal	29			
Prunus caroliniana 'Compacta' / Carolina Cherry	5 gal	8			
Rhaphiolepis indica 'Majestic Beauty' TM / Majestic Beauty Indian Hawthorne Standard	5 gal	30			
<u>BOTANICAL NAME / COMMON NAME</u>	<u>CONT</u>	<u>SPACING</u>	<u>QTY</u>		
Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	18" o.c.	439 sf		
Salvia coccinea / Scarlet Sage	1 gal	18" o.c.	254 sf		

TAX MAP #: 1370408010000
PRELIMINARY NOT FOR CONSTRUCTION

Engineering Associates, Inc.
CEI
30129-LP.dwg
3/29/17
30129

Firestone
COMPLETE AUTO CARE
800.888.8888

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NEW FCAC STORE (8-BAY-FCAC-ER-LEFT)
101 GRANDVIEW DRIVE
SUMMERVILLE
SC 29483



6 DIGIT NO.: 021857
4 DIGIT NO.: N/A
ENTITY ID NO.: 822924
SITE ID NO.: 255
PROPERTY NO.: N/A

FILE NAME: 30129-LP.dwg
CEI PROJECT NUMBER: 30129
REVISION: REV-0 DATE: 05/30/17

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:

C4

Design #

Site Plan

Location

822924

Address

Berlin Meyers Pkwy
& Hwy 78
Summerville, SC

Acct. Rep.

Coordinator

Designer

Date

Approval / Date

Client

Sales

Estimating

Art

Engineering

Landlord

Artist/Date: 5/26/17 hw

Revision / Date

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Rev. 2:

Rev. 3:

Rev. 4:

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BRIDGESTONE

18" Bridgestone 11'-5 5/16" x 18"

N02



3'-6 1/4" x 4' - 8' OAH Monument

M2



3'-6 1/4" x 4' - 8' OAH Monument

M1

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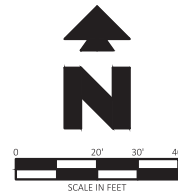
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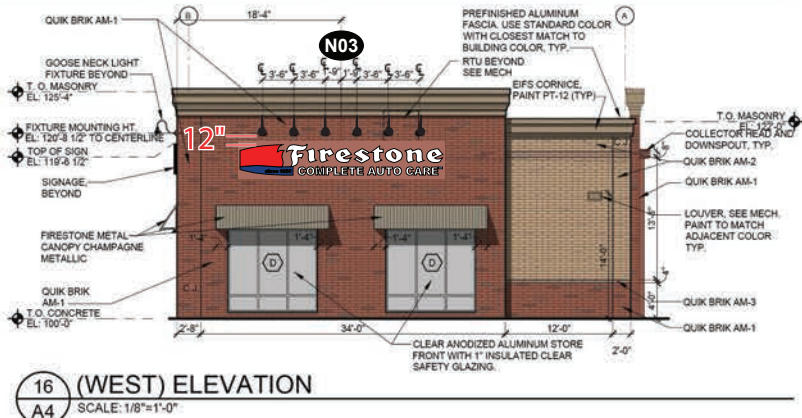
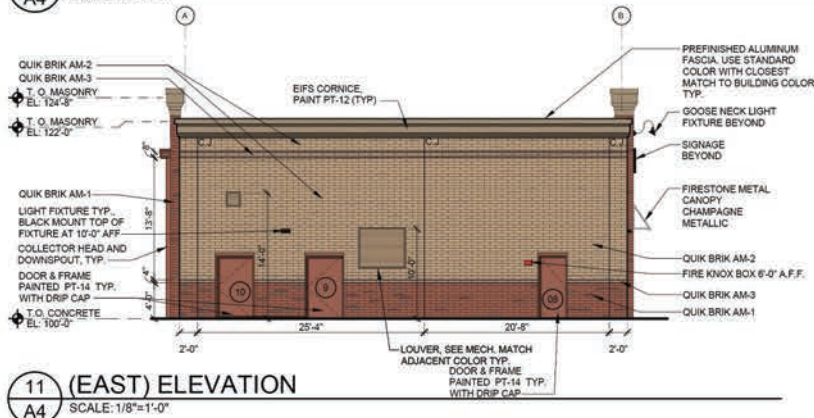
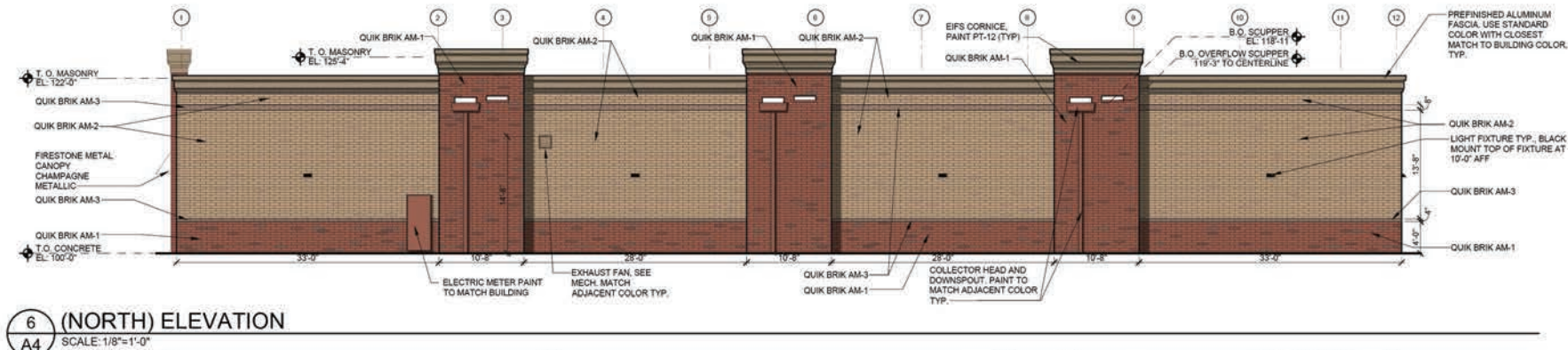
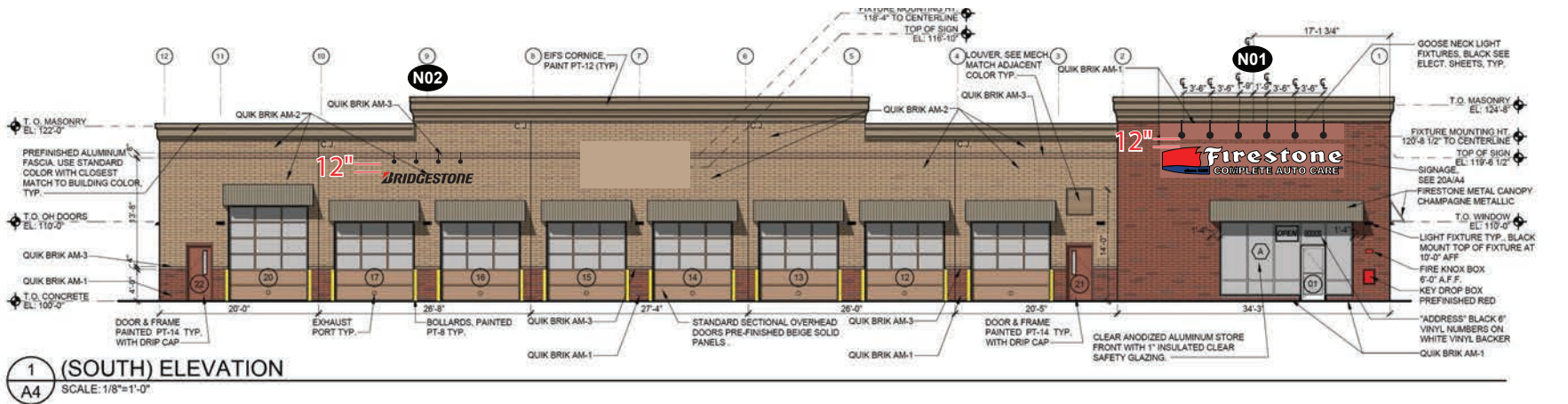
N03

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30"-22'-2 15/16" x 3'-4 3/8"

N01





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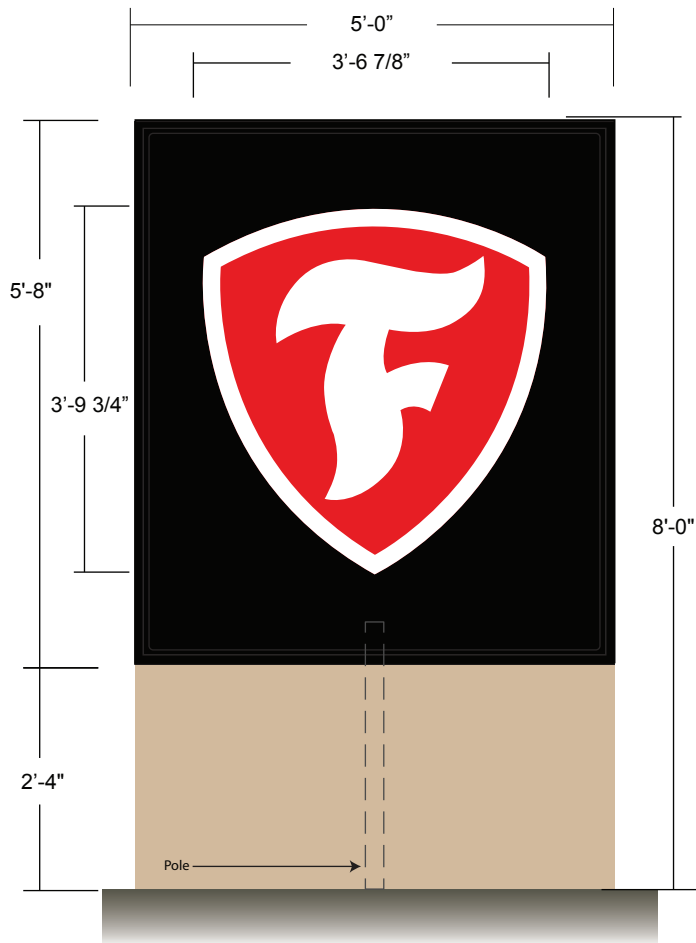
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Scale: 1/2"=1'




CUSTOM CANTILEVER MONUMENT

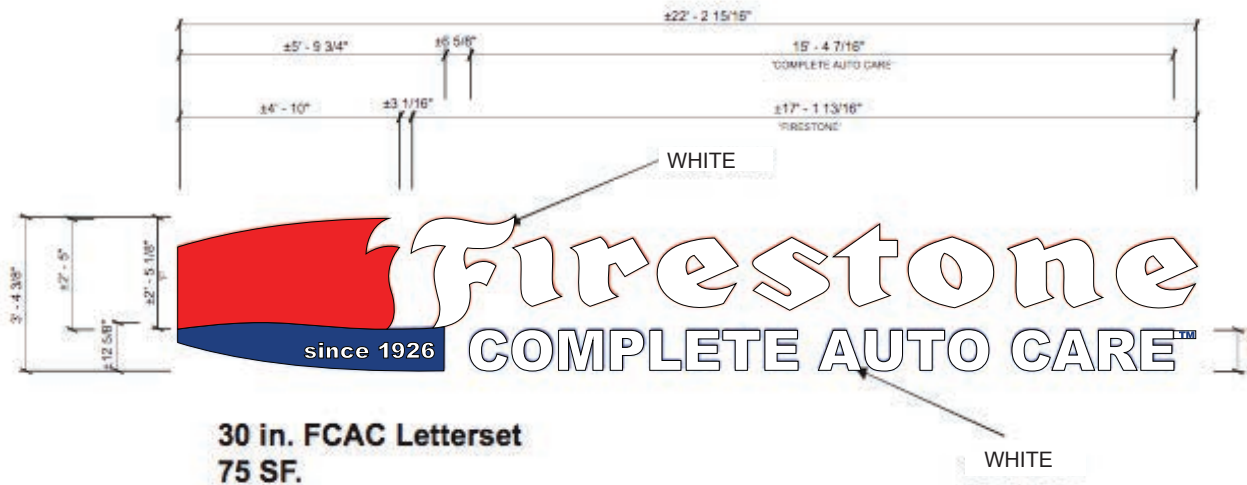
Two required - Manufacture and Install

1 – illuminated double faced cabinet with pan formed faces and vinyl copy

2 – metal cladding for base

3- column mounted in concrete foundation – foundation to be spread footing.

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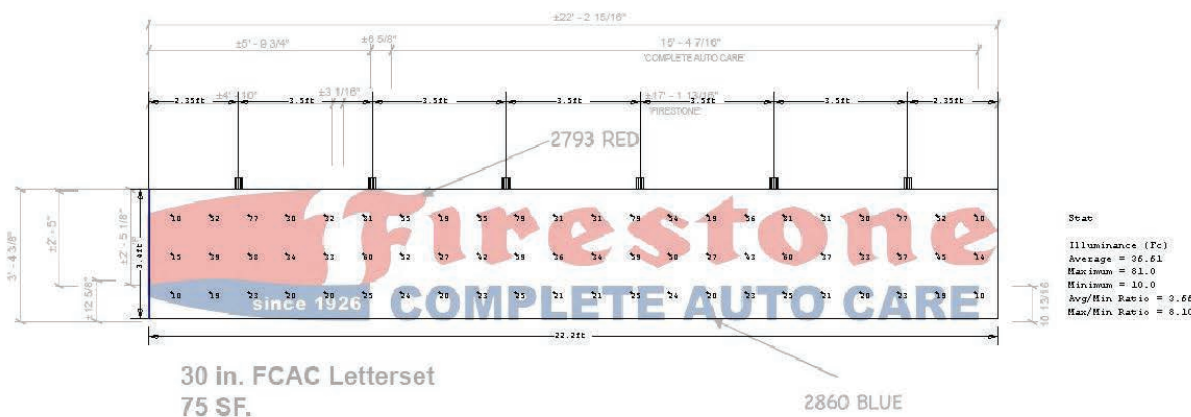
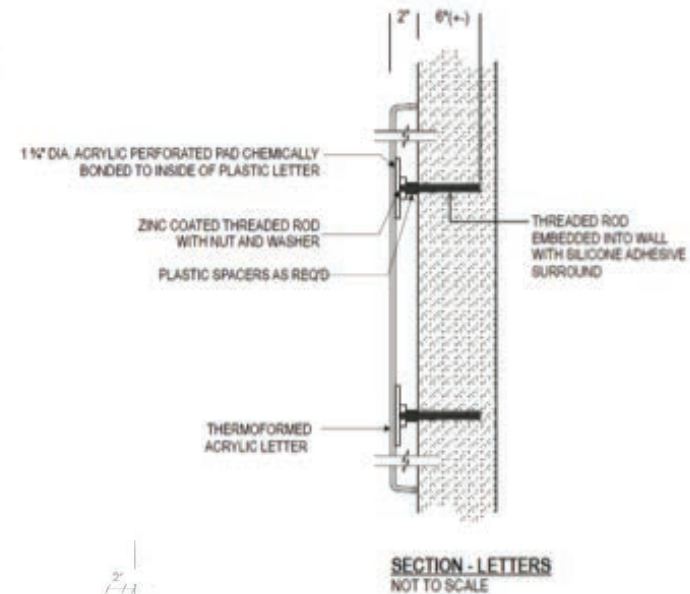


1 FRONT ELEVATION
SF-CHF-30.1



2 ACRYLIC LETTER DETAIL
SF-CHF-30.1

2 SIDE VIEW
SF-CHF-30.1



1 FRONT ELEVATION
SF-CHF-30.1

2 SIDE VIEW
SF-CHF-30.1

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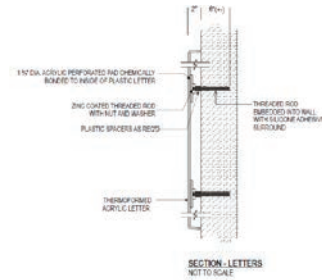
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2 in



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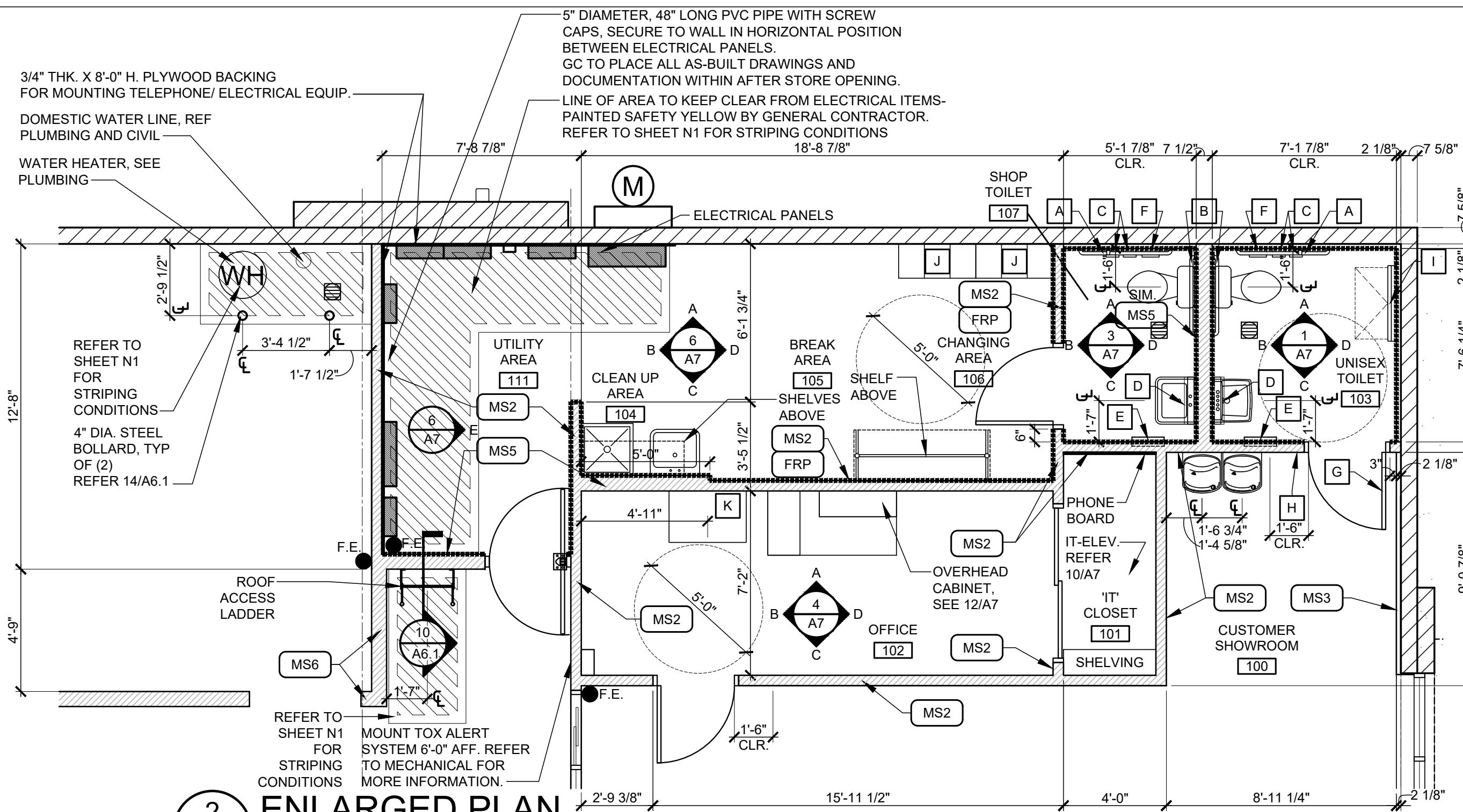
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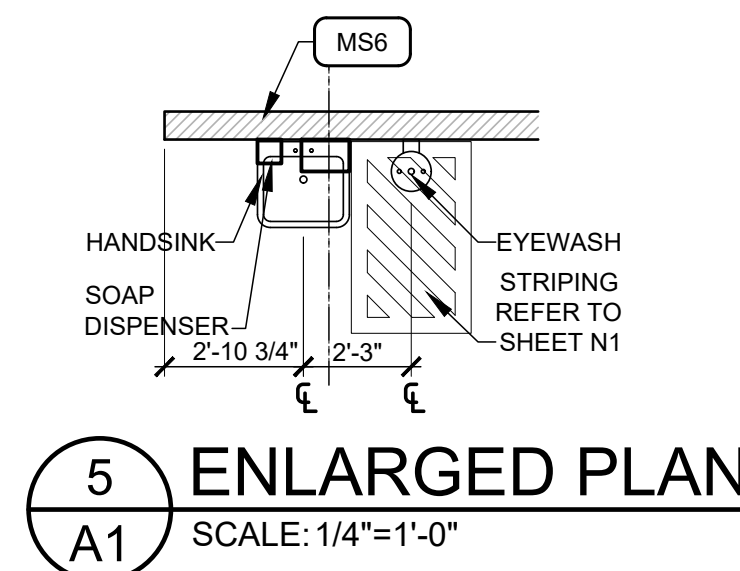
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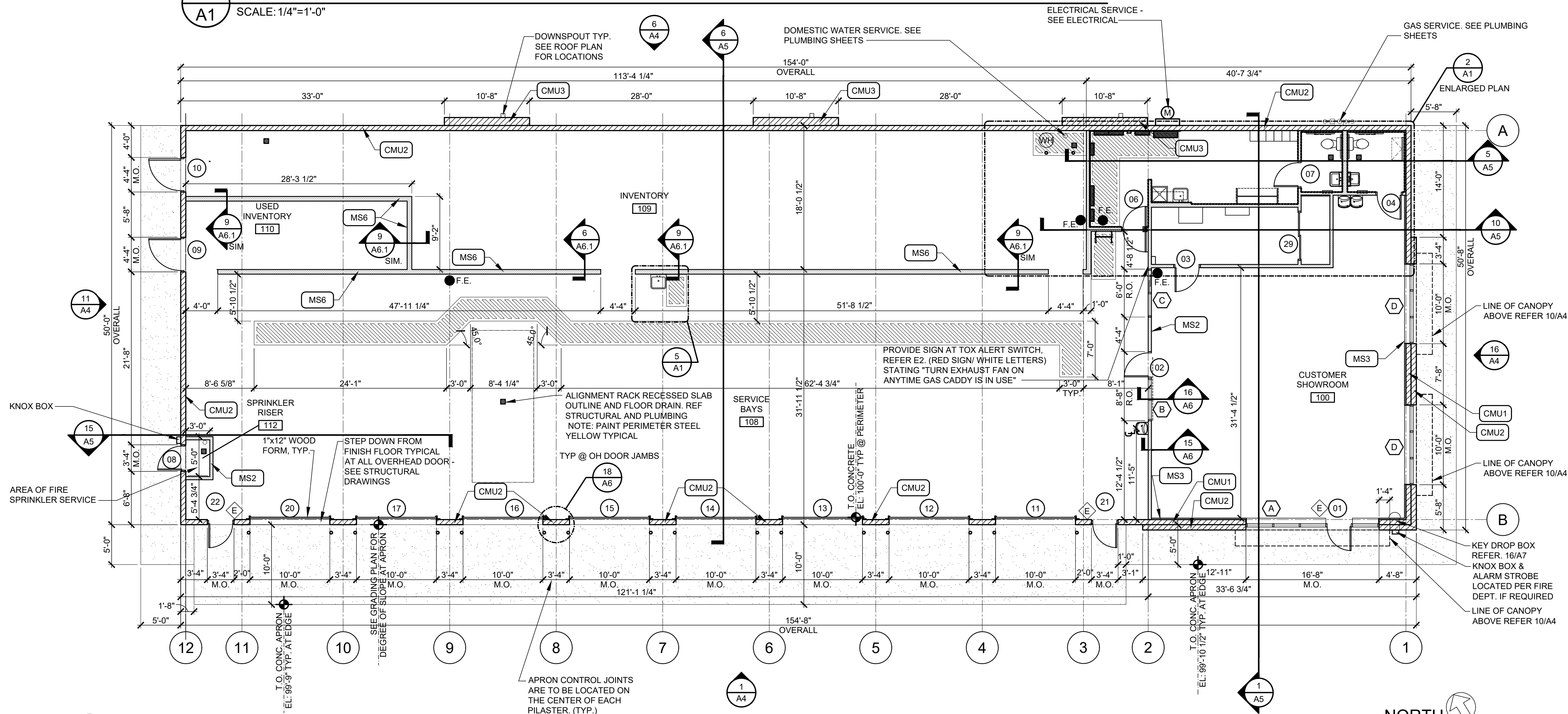


2 ENLARGED PLAN
SCALE: 1/4"=1'-0"



5 ENLARGED PLAN
SCALE: 1/4"=1'-0"

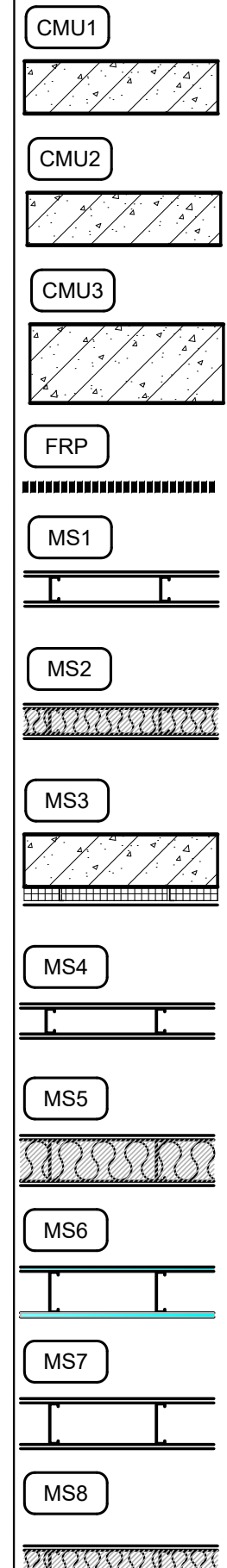
ALL LOCATIONS AND DIMENSIONS ARE CRITICAL IN THIS PLAN. ADA CLEARANCES ARE TO BE VERIFIED PRIOR TO SETTING FINISHES.



16 FLOOR PLAN
SCALE: 1/8"=1'-0"

STANDARD WALL TYPES

- NOTES:
- SOME WALL TYPES MAY NOT BE USED. REFER TO PLANS.
 - REFER TO STRUCTURAL DRAWINGS FOR STUD GAUGES AND ADDITIONAL FRAMING INFORMATION.



- CMU1
- 8" HIGH REINFORCED CONCRETE MASONRY UNIT. SMOOTH BOTH SIDES. REFER TO ELEVATIONS.
- CMU2
- 4" HIGH, 8" DEEP REINFORCED QUIK BRIK. ALL DECORATIVE SURFACES SHOULD FACE TO EXTERIOR SIDE ONLY. REFER TO ELEVATIONS.
- CMU3
- 4" HIGH, 12" DEEP REINFORCED QUIK BRIK. ALL DECORATIVE SURFACES SHOULD FACE TO EXTERIOR SIDE ONLY. REFER TO ELEVATIONS.
- FRP
- FRP BOARD GLUE EDGE TO EDGE OF SUBSTRATE. REFER TO INTERIOR ELEVATIONS ON SHEET A7 FOR HEIGHTS A.F.F.
- MS1
- 3 5/8" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES. EXTEND PARTITION TO DECK (TYPICAL U.N.O.). USE MOISTURE RESISTANT GYPSUM BOARD ON INTERIOR SIDE OF TOILET AND MOP BASIN AREAS.
- MS2
- 3 5/8" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES WITH SOUND ATTENUATION BLANKETS BETWEEN. EXTEND PARTITION TO DECK (TYPICAL U.N.O.) USE MOISTURE RESISTANT GYPSUM BOARD ON INTERIOR SIDE OF TOILET AND MOP BASIN AREAS AND BEHIND DRINKING FOUNTAINS.
- MS3
- 1 1/2" "Z" FURRING AT 24" O.C. (ON MASONRY WALL) WITH 5/8" GYPSUM BOARD. EXTEND 1 1/2" RIGID INSULATION TO DECK ABOVE. (TYPICAL U.N.O.) USE MOISTURE RESISTANT GYPSUM BOARD IN TOILET AND MOP SINK AREAS AND 6" METAL STUDS @ 16" O.C. IN PLUMBING WALLS.
- MS4
- 3 5/8" METAL STUDS AT 16" O.C. WITH 1/2" PLYWOOD BOTH SIDES, PAINTED (TYPICAL UNLESS NOTED OTHERWISE).
- MS5
- 6" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES WITH SOUND ATTENUATION BLANKETS BETWEEN. EXTEND PARTITION TO DECK (TYPICAL U.N.O.) AT SIM. CONDITION, EXTEND PARTITION 4" MIN. ABOVE CEILING. USE MOISTURE RESISTANT GYPSUM BOARD ON INTERIOR SIDE OF TOILET AND MOP BASIN AREAS.
- MS6
- 18 GAUGE 6" METAL STUDS AT 16" O.C. WITH 1/2" PLYWOOD BOTH SIDES, PAINTED.
- MS7
- 6" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES, PAINTED.
- MS8
- 3 5/8" METAL STUDS AT 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES, 3/4" PLYWOOD ATTACHED TO STUDS ON SHOP SIDE ONLY.

ACCESSORIES

- | MARK | DESCRIPTION |
|------|---|
| A | 42" GRAB BAR WITH WOOD BACKER, WITH 18" VERTICAL BAR AS REQUIRED. |
| B | 36" GRAB BAR WITH WOOD BACKER |
| C | TOILET TISSUE DISPENSER |
| D | MIRROR - SEE ELEVATIONS FOR SIZE |
| E | PAPER TOWEL DISPENSER & DISPOSAL |
| F | SANITARY NAPKIN DISPOSAL UNIT |
| G | COAT HOOK |
| H | HANDICAP SIGN-MOUNT 5'-0" AFF TO CENTER: 8" EDGE TO JAMB EDGE. |
| I | BABY CHANGING STATION. SEE DETAIL 1/N1 |
| J | 6 HALF LOCKER UNIT QTY(2)-(SECURE TO WALL) |
| K | WRITING SURFACE, SEE DETAIL 11/A7 |

- NOTES
- PROVIDE WOOD BLOCKING AS REQUIRED FOR MOUNTING ACCESSORIES
 - ACCESSORY PACKAGE AVAILABLE FROM NATIONAL VENDOR.
 - REFER TO SHEET N1 FOR MOUNTING HEIGHTS, LOCATIONS, ETC OR TOILET ROOM ACCESSORIES.

GENERAL NOTES

- WALL DIMENSIONS ARE TO FINISH CLEAR DIMENSION. ALL MATERIALS MUST BE FIGURED INTO THE LAYOUT OF THE FRAMING.
- MASONRY OPENING SHALL BE COORDINATED WITH WINDOW OR DOOR MANUFACTURERS REQUIREMENTS.
- PLUMBING ROUGH INS ARE CRITICAL FOR ADA CLEARANCES. VERIFY ALL PLUMBING ROUGH INS PRIOR TO INSTALLING ROOM FINISHES. TO ADJUST COURSING AS NEEDED.
- ALL MASONRY DIMENSIONS ARE NOMINAL DIMENSIONS. MASONRY CONTRACTOR TO ADJUST COURSING AS NEEDED.
- PROPOSED FIRE EXTINGUISHERS ARE LOCATED BY THE SYMBOL ● F.E. COORDINATE TYPE, SIZE AND FINAL LOCATIONS WITH LOCAL FIRE OFFICIALS
- ALL GYP. BRD. WALLS SHALL HAVE LATERAL BRACING AND CONTROL JOINTS AS REQUIRED IN SPECIFICATION SECTIONS 092900.

CONSTRUCTION DOCUMENTS WILL BE BASED ON THE LATEST RELEASE OF THE PROTOTYPICAL DOCUMENTS ON LUCERNEX AT THE TIME OF CONSTRUCTION DOCUMENT AUTHORIZATION.

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PROJECT CONTACTS:

NS DEV MGR: ARUN MALVEA (630) 259-9000

DESIGN MGR: RANDY JOHNSTON (630) 259-9251

CONST MGR: TODD CAPRIOTTI (727) 298-5690

MGR CONST SUPPORT: CHRIS NAGY (630) 259-9255

ATTORNEY: JOEL MEYERS (630) 259-9000

PROJECT CONTACTS:

ARCHITECT: JEFF DALTON, AIA (918) 587-8600

SGA DESIGN GROUP, P.C.

ENGINEER: JEFF SMITH, RLA, ASLA (479) 273-9472

CEI ENGINEERING ASSOCIATES

PROTOTYPE: 8-BAY FCAC- ER LEFT

ZONE APPROVAL (BY/DATE):

VP. _____

CONT. _____

RM. _____

CM. _____

ENTITY ID: 822924

SITE ID: 021857

LEGACY ID: N/A



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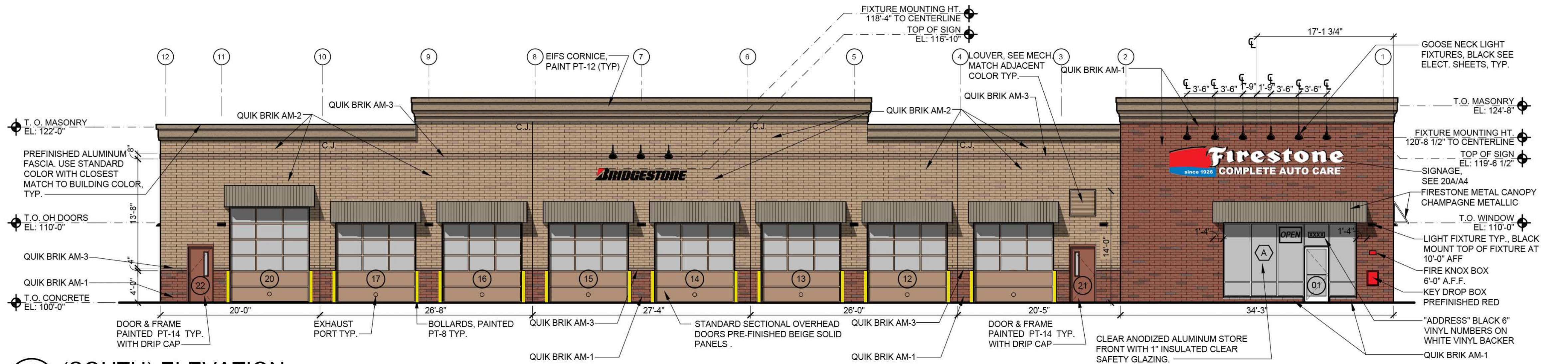
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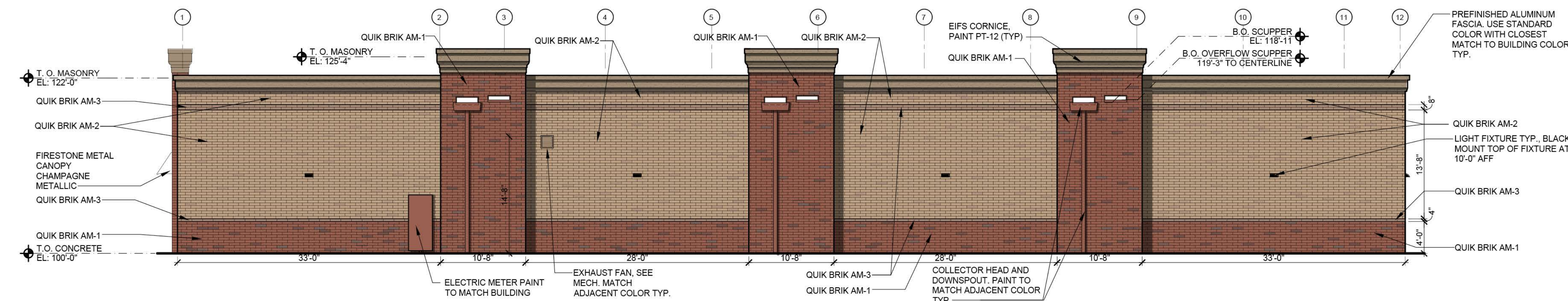
1437 South Boulder, Suite 550
Tulsa, Oklahoma 74119.3609
p: 918.587.8600
f: 918.587.8601
www.sga-designgroup.com

SHEET TITLE: FLOOR PLAN AND NOTES

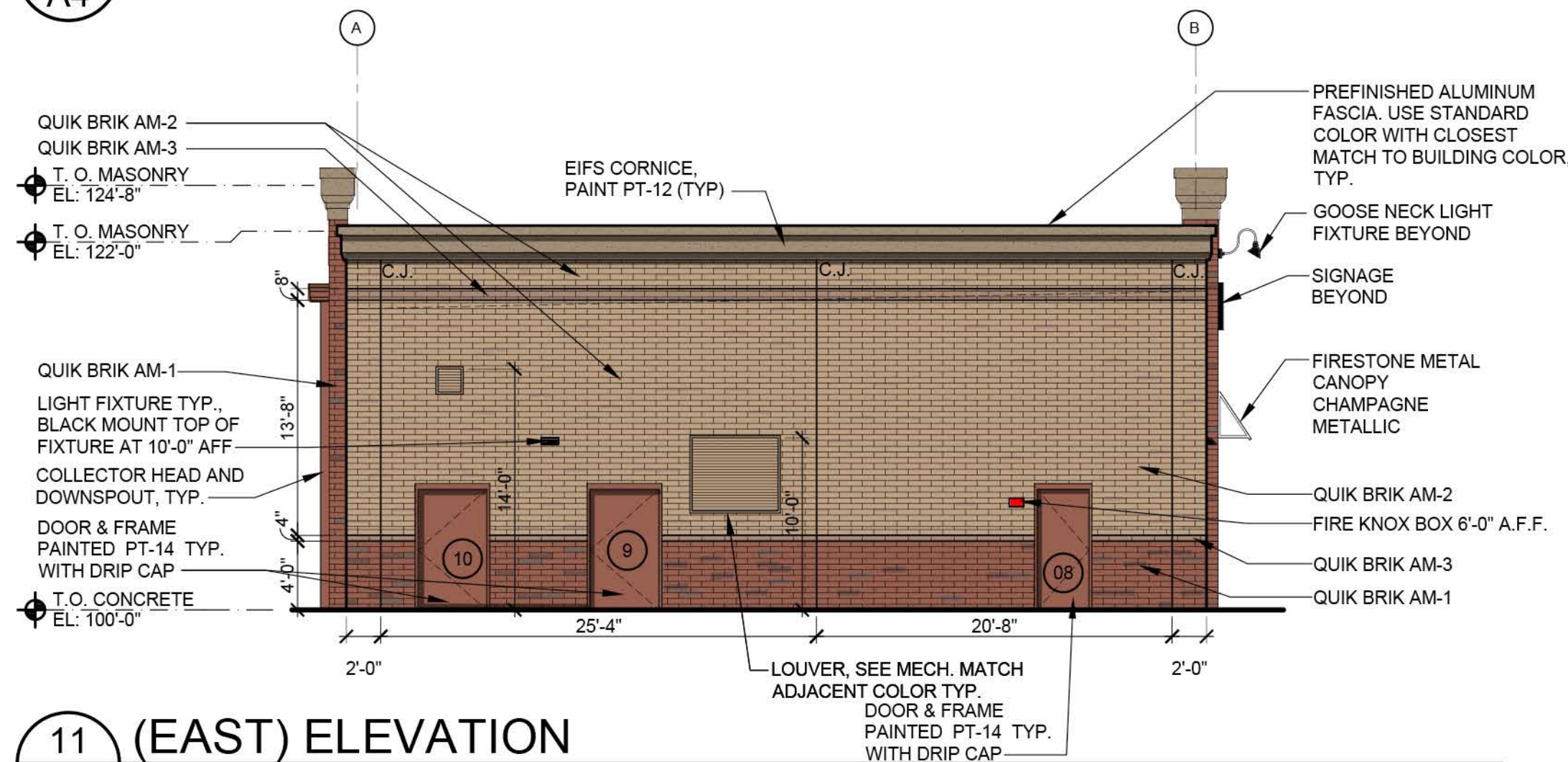
SHEET NUMBER: PA1



1 (SOUTH) ELEVATION
A4 SCALE: 1/8"=1'-0"



6 (NORTH) ELEVATION
A4 SCALE: 1/8"=1'-0"



11 (EAST) ELEVATION
A4 SCALE: 1/8"=1'-0"



16 (WEST) ELEVATION
A4 SCALE: 1/8"=1'-0"

MATERIAL KEY
AM-1: QUIK BRIK PROMENADE BLEND
AM-2: QUIK BRIK SANDALWOOD
AM-3: QUIK BRIK AUTUMN (NO FLASH)

GENERAL NOTES:
1. SEE DETAIL 17/A8 FOR MASONRY CONTROL JOINT DETAIL
2. PROVIDE DRIP CAP OVER ALL MAN DOORS SEE DETAIL 1H/A8
3. PAINT ALL EXPOSED LINTELS & JAMBS TO MATCH ADJACENT BUILDING COLOR.
4. SEE ELECTRICAL FOR SIGNAGE OPERATING TIME SETUP
5. INSTALLATION OF BUILDING SIGNS AND STREET SIGN BY SIGN VENDOR, G.C. TO PROVIDE WIRING. REFER ELECTRICAL.
6. REFER SHEET A8 FOR PAINT COLOR KEY.
7. ANY EXTERIOR CONSTRUCTION JOINT, EXPANSION JOINT, AND CRACK OF ABUTTING DISSIMILAR OR SAME MATERIALS MUST HAVE APPROPRIATE PRODUCT APPLIED TO PROVIDE AN AIR, MOISTURE, AND WATER TIGHT EXTERIOR. REFER TO SPECIFICATION SECTION 078200 FOR PRODUCTS.



QUIK-BRIK AM-1
"PROMENADE BLEND"



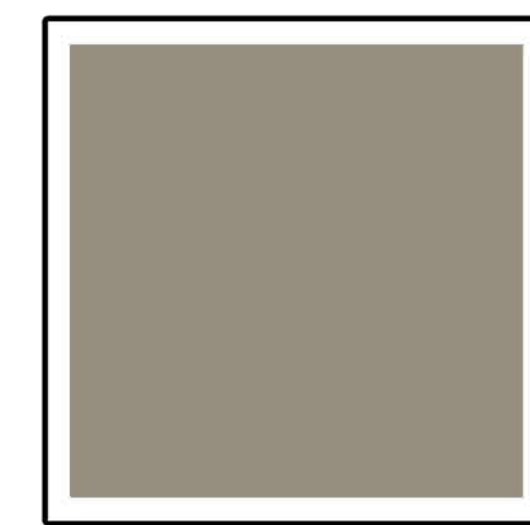
QUIK-BRIK AM-2
"SANDALWOOD BLEND"



PT-12 "SANDY RIDGE"
SW 7535



QUIK-BRIK AM-3
"AUTUMN"



FIRESTONE METAL
"CHAMPAGNE METALLIC"

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PROTOTYPE: 8-BAY FCAC- ER LEFT

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CONT. _____
RM. _____
CM. _____
ENTITY ID: 822924
SITE ID: 021857
LEGACY ID: N/A



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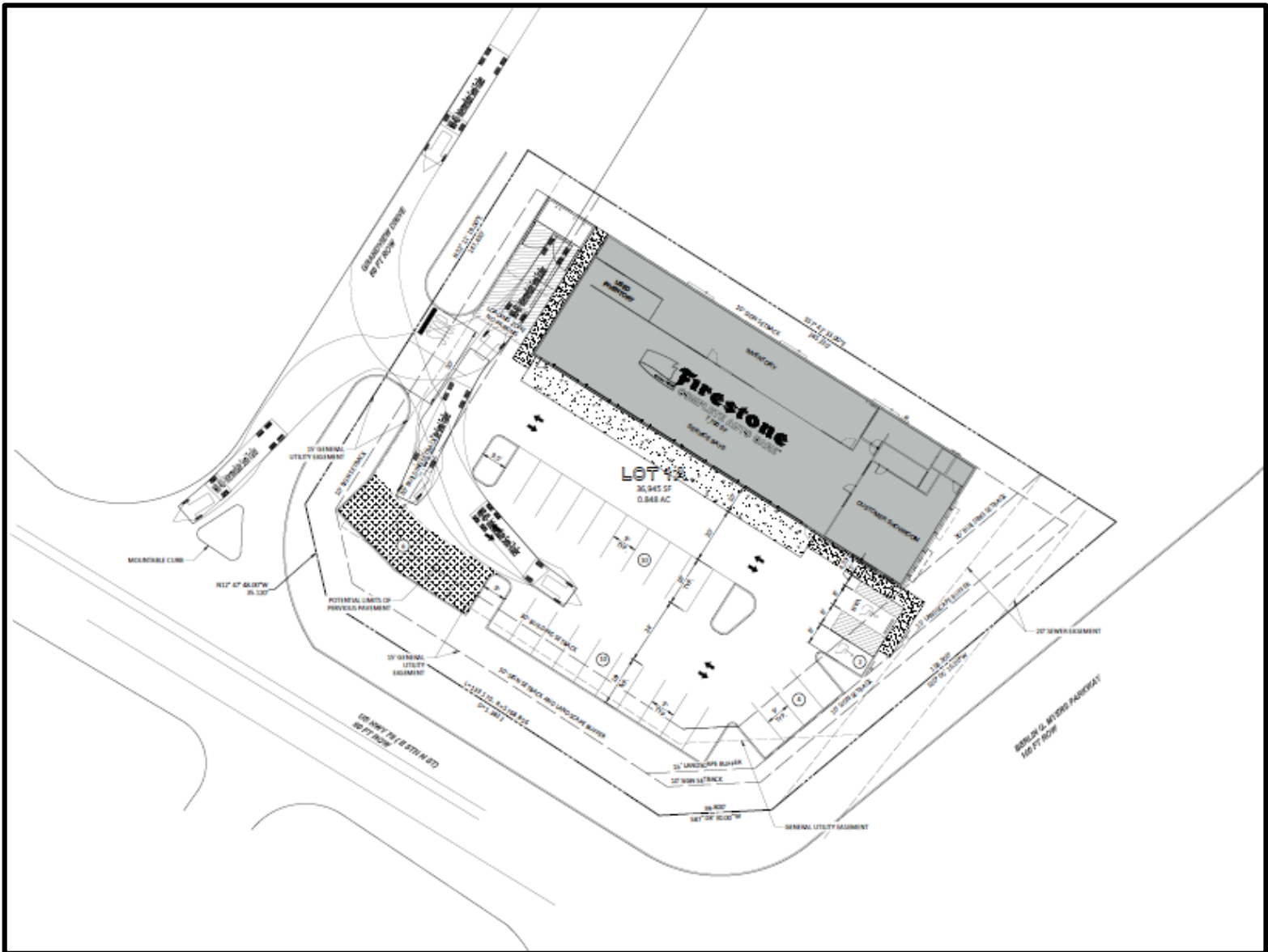
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Tulsa, Oklahoma 74119.3609
p: 918.587.8600
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www.sgadesigngroup.com

SHEET TITLE:
EXTERIOR
ELEVATIONS
& DETAILS

SHEET NUMBER:
PA4

Aerial Plan





Looking Southeast





View of Site from South





View of Site from North





View of Site from West





Grandview Drive





E. 5th N. St.





View Across Intersection from Site





Looking Northeast





Looking Southwest from Site





Site North Boundary





Building to the North of Site



Surrounding Properties



Surrounding Properties



Surrounding Properties



Surrounding Properties



Surrounding Properties



Surrounding Properties



Surrounding Properties



Surrounding Properties



Bridgestone Retail Operations, LLC

333 E. Lake Street • Bloomingdale, IL • 60108

Ms. Jessi Shuler, AICP
Director of Planning
Zoning Administrator
City of Summerville
200 South Main Street
Summerville, SC 29483

June 1, 2017

RE: Bridgestone Retail Operations Parking Justification Letter

Dear Ms. Shuler,

I am writing this letter in response to the phone conversation we had yesterday regarding the parking ratio for our proposed Summerville, SC facility. I am writing to request an increase in the allowable parking provided on this site for 2 reasons. First, the actual building area that should be included in the parking ratio calculation should include our Inventory Room which is integral to the operation of our Service Bays. This is not a static storage room, and in our more current prototype models the partition separating the Inventory Room from the Service Bays has either been removed or lowered to a 4'-0" high half partition (mainly used to run electrical conduit through the stud cavity to power our technician's equipment chargers). The second reason for this parking increase request is our very business model requires a minimum of 30 parking spaces for our stores to profitably function.

It is our intent to be a good neighbor, a good employer and the most trusted provider of automobile service in and around the Summerville, SC area for the foreseeable future. Our first step on that mutually beneficial path of success begins with a site development plan that matches the needs required by our Operations department. Please feel free to contact me if you have any comments or questions regarding the contents of this letter. Thank you in advance for your time regarding this request, and I look forward to hearing from you as your schedule allows.

Sincerely,
BRIDGESTONE RETAIL OPERATIONS, LLC



Randy Johnston
Design Manager
333 East Lake Street
Bloomingdale, IL. 60108
630.259.9251
rjohnston@bfrc.com

XSP Series

XSPW™ LED Wall Mount Luminaire

Type: N-LED

Product Description

The XSPW™ LED wall mount luminaire has a slim, low profile design intended for outdoor wall mounted applications. The rugged lightweight aluminum housing and mounting box are designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes. The luminaire allows for through-wired or conduit entry from the top, bottom, sides and rear. The housing design is intended specifically for LED technology including a weathertight LED driver compartment and thermal management. Optic design features industry-leading NanoOptic® Precision Delivery Grid™ system in multiple distributions.

Applications: General area and security lighting

Performance Summary

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI

CCT: 4000K (+/- 300K), 5700K (+/- 500K)

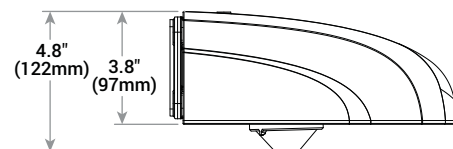
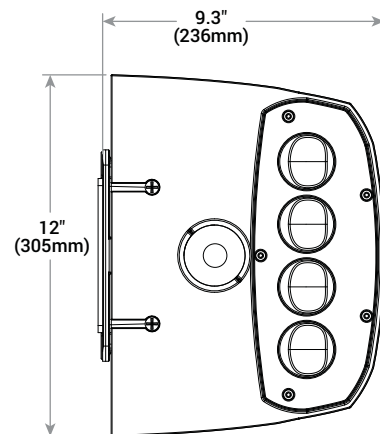
Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

* See www.cree.com/lighting/products/warranty for warranty terms

Accessories

Field-Installed
Beauty Plate WM-PLT12** - 12" (305mm) Square WM-PMT14** - 14" (356mm) Square - Covers holes left by incumbent wall packs

** Must specify color



Multi-Level Sensor location
(ordered as an option)

Weight
9.5 lbs. (4.3kg)

Ordering Information

Example: XSPW-A-0-2-F-C-U-Z

XSPW	A	0	3	F	G	U		
Product	Version	Mounting	Optic	Modules	Input Power Designator	Voltage	Color Options	Options
XSPW	A	0 Wall	2 Type II Medium 3 Type III Medium	F 4000K M 5700K	C 42W G 25W	U Universal 120-277V 1 120V 2 208-277V 6* 347V	S Silver T Black W White Z Bronze	K Multi-Level - Refer to ML spec sheet for details - Available with Input Power Designator C only P Photocell - Not available with K option - Must specify 1, 2, or 6 voltage Y 0-10V Dimming - Control by others - Available with Input Power Designator C only - Refer to dimming spec sheet for details

* Available in Canada only

NOTE: Price adder may apply depending on configuration



Rev. Date: V6 07/31/2015



US: www.cree.com/lighting

T (800) 236-6800 F (262) 504-5415

Canada: www.cree.com/canada

T (800) 473-1234 F (800) 890-7507

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design
- Luminaire housing specifically designed for LED applications with advanced LED thermal management and driver
- Luminaire mounting box designed for installation over standard single gang J-Boxes and mud ring single gang J-Boxes
- Luminaire can also be direct mounted to a wall and surface wired
- Secures to wall with four 3/16" (5mm) screws (by others)
- Conduit entry from top, bottom, sides, and rear
- Designed and UL approved for easy through-wiring
- Designed for downlight applications only
- Exclusive Colorfast DeltaGuard® finish features an E-coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, black, white and bronze are available
- **Weight:** 9.5lbs. (4.3kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347V, 50/60Hz, Class 2 driver
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C/D breaker should be used
- **10V Source Current:** 0.15 mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529
- DLC qualified. Please refer to www.designlights.org/QPL for most current information
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15 standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- RoHS compliant. Consult factory for additional details

Electrical Data*							
Input Power Designator	System Watts 120-277V	System Watts 347V	Total Current				
			120V	208V	240V	277V	347V
C	42	46	0.36	0.21	0.19	0.16	0.14
G	25	27	0.22	0.13	0.11	0.10	0.08

* Electrical data at 25°C (77°F)

Recommended XSPW Series Lumen Maintenance Factors (LMF) ¹						
Ambient	Input Power Designator	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Projected ² LMF	100K hr Calculated ³ LMF
5°C (41°F)	C	1.04	1.02	1.01	1.00	1.00
	G					
10°C (50°F)	C	1.03	1.01	1.00	0.99	0.99
	G					
15°C (59°F)	C	1.02	1.00	0.99	0.98	0.98
	G					
20°C (68°F)	C	1.01	0.99	0.98	0.97	0.97
	G					
25°C (77°F)	C	1.00	0.98	0.97	0.96	0.96
	G					

¹ Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

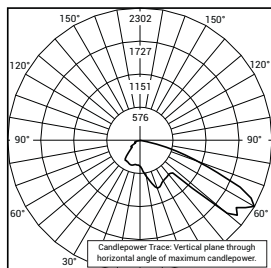
² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

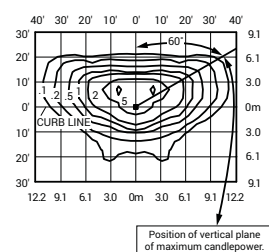
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. To obtain an IES file specific to your project consult: www.cree.com/Lighting/Products/Outdoor/Wall-Mount/XSP-Series

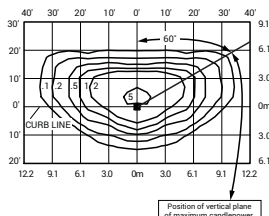
2



CESTL Test Report #: 2014-0017
BXSPW-A*-2-F-G-U-S
Initial Delivered Lumens: 2,739



BXSPW-A*-2-F-C-U-S
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 3,819
Initial FC at grade



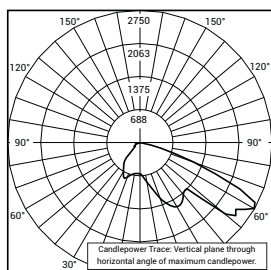
BXSPW-A*-2-F-G-U-S
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 2,529
Initial FC at grade

Type II Medium Distribution				
Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3,819	B1 U0 G1	4,109	B1 U0 G1
G	2,529	B1 U0 G1	2,722	B1 U0 G1

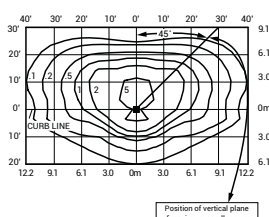
* Initial delivered lumens at 25°C (77°F)

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf.

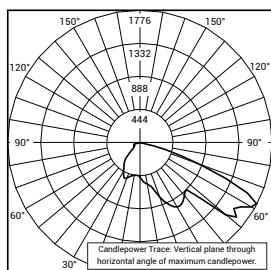
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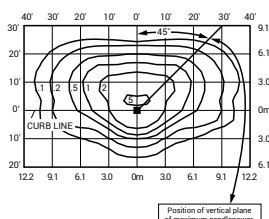
CESTL Test Report #: 2014-0018
BXSPW-A*-3-F-C-U-S
Initial Delivered Lumens: 4,187



BXSPW-A*-3-F-C-U-S
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 3,819
Initial FC at grade



CESTL Test Report #: 2014-0019
BXSPW-A*-3-F-G-U-S
Initial Delivered Lumens: 2,692



BXSPW-A*-3-F-G-U-S
Mounting Height: 10' (3.0m) A.F.G.
Initial Delivered Lumens: 2,529
Initial FC at grade

Type III Medium Distribution				
Input Power Designator	4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
C	3,819	B1 U0 G1	4,109	B1 U0 G1
G	2,529	B1 U0 G1	2,722	B1 U0 G1

* Initial delivered lumens at 25°C (77°F)

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.ies.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf.

OSQ Series

LED Area/Flood Luminaire – Medium

Type: PL / PL1-LED / PL2-LED

Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

Utilizes BetaLED® Technology

NanoOptic® Precision Delivery Grid™ optic

Made in the U.S.A. of U.S. and imported parts

CRI: Minimum 70 CRI (4000K & 5700K); 80 CRI (3000K)

CCT: 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)

Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

Accessories

Field-Installed	
Backlight Shield OSQ-BLSMF – Front facing optics	OSQ-BLSMR – Rotated optics

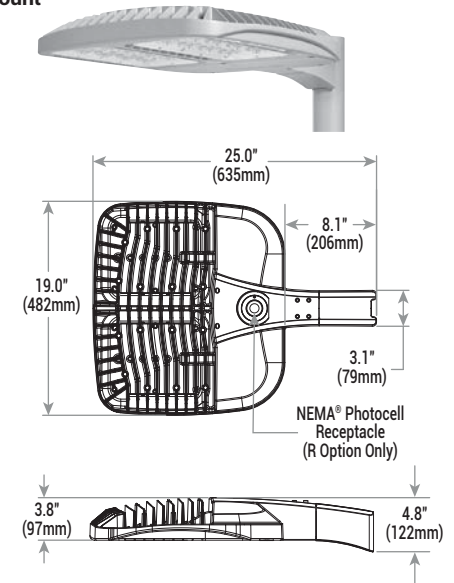
Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:

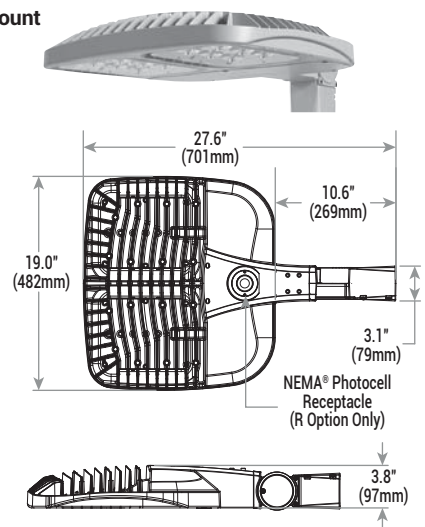
Example: **Mount:** OSQ-AA SV + **Luminaire:** OSQ A NM 2ME A 40K-UL SV

Mount (Luminaire must be ordered separately)	
OSQ- DA	BK
OSQ-AA Adjustable Arm OSQ-DA Direct Arm	Color Options: SV Silver BK Black BZ Bronze PB Platinum Bronze WH White

DA Mount



AA Mount



Luminaire (Mount must be ordered separately)										
OSQ	A	NM	4ME	A	57K		UL	BK	Options	
Product	Version	Mounting	Optic	Input Power Designator	CCT	–	Voltage	Color Options		
OSQ	A	NM No Mount	2ME* Type II Medium 3ME* Type III Medium 4ME* Type IV Medium 5ME Type V Medium SSH Type V Short	A 112W J 168W	30K 3000K 40K 4000K 57K 5700K	– US * Canada	UL Universal 120-277V UH Universal 347-480V	SV Silver BK Black BZ Bronze PB Platinum Bronze WH White	DIM 0-10V Dimming - Control by others - Refer to Dimming spec sheet for details - Can't exceed wattage of specified input power designator F Fuse - When code dictates fusing, use time delay fuse ML Multi-Level - Refer to ML spec sheet for details - High: 100%, Low: 30% - Intended for downlight applications at 0° tilt	Q9 Field Adjustable Output - Refer to Field Adjustable Output spec sheet for details R NEMA® Photocell Receptacle - Intended for downlight applications with maximum 45° tilt - Photocell by others RL Rotate Left - LED and optic are rotated to the left RR Rotate Right - LED and optic are rotated to the right

* See www.cree.com/lighting/products/warranty for warranty terms

* Available with Backlight Shield when ordered with field-installed accessory (see table above)



Rev. Date: V4 08/22/2014



US: www.cree.com/lighting

T (800) 236-6800 F (262) 504-5415

Canada: www.cree.com/canada

T (800) 473-1234 F (800) 890-7507

Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high performance heat sink
- Convenient interlocking mounting method on direct arm mount. Mounting adapter is rugged die cast aluminum and mounts to 3-6" (76-152mm) square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers
- Mounting for the adjustable arm mount adapter is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) O.D. tenon
- Adjustable arm mount can be adjusted 180° in 2.5° increments
- Designed for uplight and downlight applications
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, white, and platinum bronze are available
- **Weight:** 26.5 lbs. (12kg)

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C/D breaker should be used

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Pending certification to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Buy American requirements within ARRA
- DLC qualified when ordered with 30K (5ME, 5SH optics), 40K (2ME, 3ME, 4ME, 5ME, 5SH optics), or 57K (2ME, 3ME, 4ME, 5ME, 5SH optics). Please refer to <http://www.designlights.org/QPL> for most current information

Electrical Data*							
Input Power Designator	System Watts 120-480V	Total Current					
		120V	208V	240V	277V	347V	480V
A	112	0.97	0.56	0.49	0.43	0.34	0.25
J	168	1.47	0.85	0.74	0.64	0.50	0.36

* Electrical data at 25°C (77°F)

Recommended Cree® Outdoor Luminaire Lumen Maintenance Factors (LMF) ¹						
Ambient	Input Power Designator	Initial LMF	25K hr Projected ² LMF	50K hr Projected ² LMF	75K hr Calculated ³ LMF	100K hr Calculated ³ LMF
5°C (41°F)	A	1.04	0.99	0.94	0.88	0.84
	J					
10°C (50°F)	A	1.03	0.98	0.93	0.88	0.83
	J					
15°C (59°F)	A	1.02	0.97	0.92	0.87	0.83
	J					
20°C (68°F)	A	1.01	0.96	0.91	0.86	0.82
	J					
25°C (77°F)	A	1.00	0.95	0.90	0.85	0.81
	J					

¹ Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing

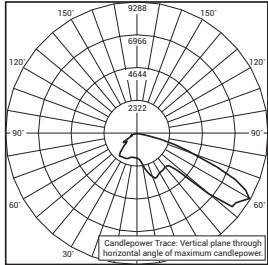
² In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

³ In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6X) the IESNA LM-80-08 total test duration (in hours) for the device under testing ((DUT) i.e. the packaged LED chip)

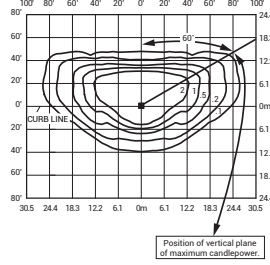
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. To obtain an IES file specific to your project consult: <http://www.cree.com/lighting>.

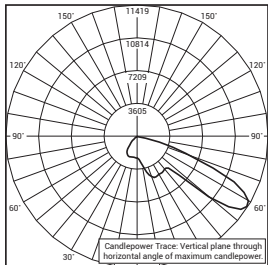
2ME



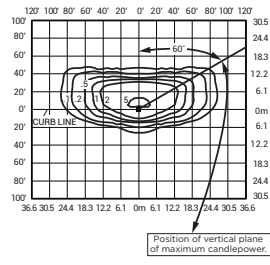
RESTL Test Report #: PL03347-001
OSQ A ** 2ME A 40K-UL
Initial Delivered Lumens: 10,988



OSQ A ** 2ME J 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,356
Initial FC at grade



RESTL Test Report #: PL03642-003
OSQ A ** 2ME J 40K-UL w/OSQ-BLSMF
Initial Delivered Lumens: 14,643



OSQ A ** 2ME J 40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 14,020
Initial FC at grade

Type II Medium Distribution

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	9,136	B2-U0-G1	10,904	B2-U0-G2	11,649	B2-U0-G2
J	13,703	B2-U0-G2	16,356	B3-U0-G2	17,474	B3-U0-G2

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

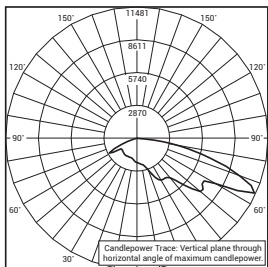
Type II Medium w/BLS Distribution

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,831	B1-U0-G1	9,346	B2-U0-G2	9,985	B2-U0-G2
J	11,746	B2-U0-G2	14,020	B2-U0-G2	14,978	B2-U0-G2

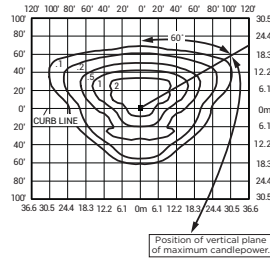
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

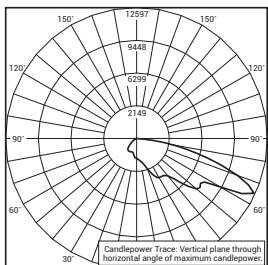
3ME



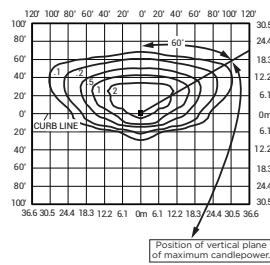
RESTL Test Report #: PL03478-001
OSQ A ** 3ME J 40K-UL
Initial Delivered Lumens: 16,257



OSQ A ** 3ME J 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,189
Initial FC at grade



RESTL Test Report #: PL03642-001
OSQ A ** 3ME J 40K-UL w/OSQ-BLSMF
Initial Delivered Lumens: 14,229



OSQ A ** 3ME J 40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 13,853
Initial FC at grade

Type III Medium Distribution

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	9,042	B2-U0-G2	10,793	B2-U0-G2	11,530	B2-U0-G2
J	13,564	B3-U0-G3	16,189	B3-U0-G3	17,296	B3-U0-G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

Type III Medium w/BLS Distribution

Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,737	B1-U0-G2	9,235	B1-U0-G2	9,866	B1-U0-G2
J	11,606	B1-U0-G2	13,853	B2-U0-G3	14,799	B2-U0-G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

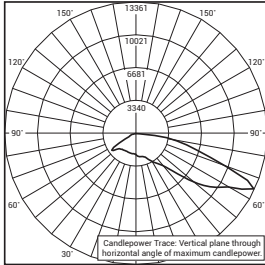
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



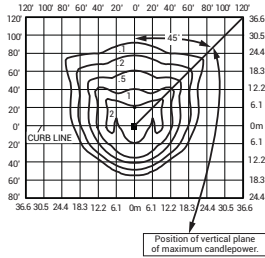
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. To obtain an IES file specific to your project consult: <http://www.cree.com/lighting>.

4ME



RESTL Test Report #: PL03496-001
OSQ A ** 4ME J 40K-UL
Initial Delivered Lumens: 16,293

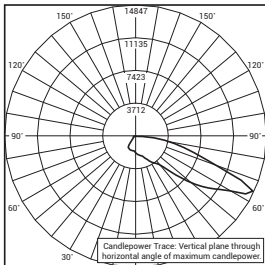


OSQ A ** 4ME J 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,022
Initial FC at grade

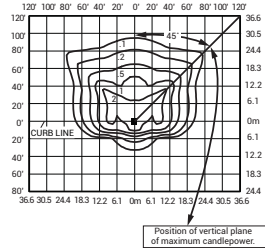
Type IV Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	8,949	B2-U0-G2	10,682	B2-U0-G2	11,412	B2-U0-G3
J	13,424	B3-U0-G3	16,022	B3-U0-G3	17,117	B3-U0-G3

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt



RESTL Test Report #: PL03642-002
OSQ A ** 4ME J 40K-UL w/OSQ-BLSMF
Initial Delivered Lumens: 13,647



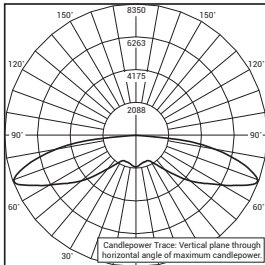
OSQ A ** 4ME J 40K-UL w/OSQ-BLSMF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 14,020
Initial FC at grade

Type IV Medium w/BLS Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	7,644	B1-U0-G2	9,124	B1-U0-G2	9,747	B1-U0-G2
J	11,466	B2-U0-G3	13,686	B2-U0-G3	14,621	B2-U0-G3

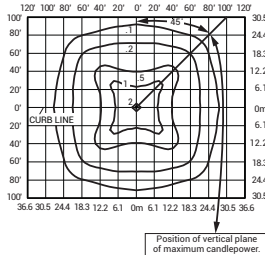
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

5ME



RESTL Test Report #: PL03466-001
OSQ A ** 5ME S 40K-UL
Initial Delivered Lumens: 20,709



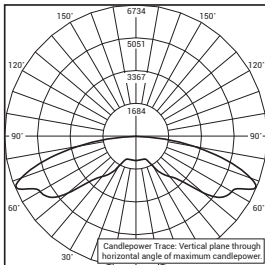
OSQ A ** 5ME S 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 15,480
Initial FC at grade

Type V Medium Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	8,716	B3-U0-G3	10,320	B4-U0-G3	10,473	B4-U0-G3
J	13,075	B4-U0-G4	15,480	B4-U0-G4	15,710	B4-U0-G4

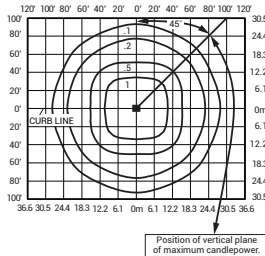
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

5SH



RESTL Test Report #: PL03501-001
OSQ A ** 5SH S 40K-UL
Initial Delivered Lumens: 21,066



OSQ A ** 5SH S 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 15,817
Initial FC at grade

Type V Short Distribution						
Input Power Designator	3000K		4000K		5700K	
	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11	Initial Delivered Lumens*	BUG Ratings** Per TM-15-11
A	8,906	B3-U0-G3	10,544	B4-U0-G3	10,701	B4-U0-G3
J	13,359	B4-U0-G3	15,817	B4-U0-G4	16,052	B4-U0-G4

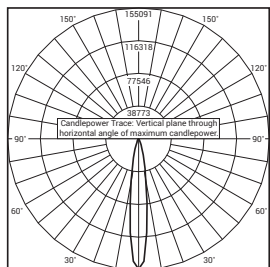
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: www.iesna.org/PDF/Erratas/TM-15-11BugRatingsAddendum.pdf. Valid with no tilt

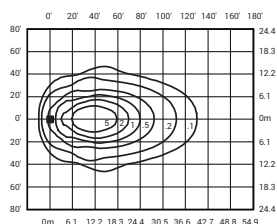
Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. To obtain an IES file specific to your project consult: <http://www.cree.com/lighting>.

15D



RESTL Test Report #: PL03903-001
OSQ A ** 15D S 40K-UL
Initial Delivered Lumens: 22,600



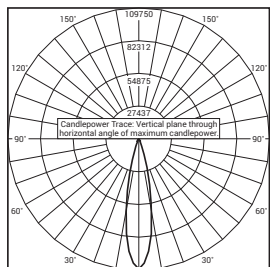
OSQ A ** 15D J 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,153
60° Tilt
Initial FC at grade

15° Flood Distribution

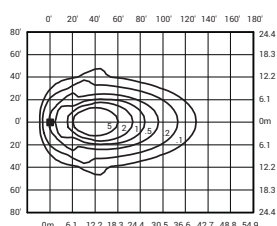
Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
A	9,095	10,769	10,929
J	13,643	16,153	16,393

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

25D



RESTL Test Report #: PL03903-002
OSQ A ** 25D S 40K-UL
Initial Delivered Lumens: 22,633



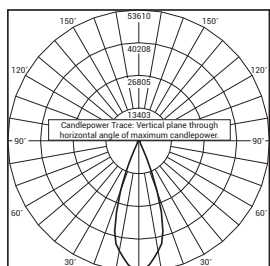
OSQ A ** 25D J 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,153
60° Tilt
Initial FC at grade

25° Flood Distribution

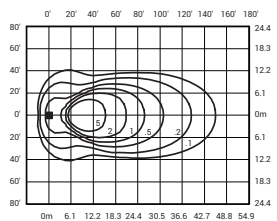
Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
A	9,095	10,769	10,929
J	13,643	16,153	16,393

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens

40D



RESTL Test Report #: PL03903-003
OSQ A ** 40D S 40K-UL
Initial Delivered Lumens: 22,404



OSQ A ** 40D J 40K-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 15,985
60° Tilt
Initial FC at grade

40° Flood Distribution

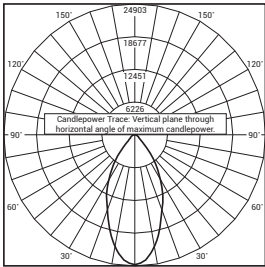
Input Power Designator	3000K	4000K	5700K
	Initial Delivered Lumens*	Initial Delivered Lumens*	Initial Delivered Lumens*
A	9,001	10,657	10,815
J	13,501	15,985	16,222

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -4 and +10% of initial delivered lumens







Photometry









All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory. To obtain an IES file specific to your project consult: <http://www.cree.com/lighting>.

60D



Luminaire EPA

Fixed Arm Mount – OSQ-DA Weight: 26.5 lbs. (12kg)							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
							
0.74	1.48	1.19	1.93	1.63	3.33	4.66	2.38

Adjustable Arm Mount – OSQ-AA Weight: 26.5 lbs. (12kg)							
Single	2 @ 180°	2 @ 90°	3 @ 90°	3 @ 120°	3 @ 180°	4 @ 180°	4 @ 90°
Tenon Configuration (0°-80° Tilt); If used with Cree tenons, please add tenon EPA with Luminaire EPA							
							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*; PD-2A4(90); PT-2(90)	PB-3A*; PD-3A4(90); PT-3(90)	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375; PD-4A4(90); PT-4(90)
0° Tilt							
0.74	1.48	1.19	1.93	1.63	3.33	4.66	2.38
10° Tilt							
0.75	1.48	1.49	2.23	2.15	4.22	5.84	2.98
20° Tilt							
1.12	1.48	1.86	2.60	2.85	5.31	7.32	3.72
30° Tilt							
1.46	1.48	2.20	2.94	3.56	6.34	8.68	4.40
45° Tilt							
1.96	1.96	2.69	3.43	4.54	7.83	10.68	5.38
60° Tilt							
2.33	2.33	3.07	3.81	5.11	8.94	12.16	6.14
70° Tilt							
2.49	2.49	3.23	3.97	5.11	9.43	12.80	6.46
80° Tilt							
2.58	2.58	3.32	4.06	5.11	9.71	13.16	6.64
Tenon Configuration (90° Tilt); If used with Cree tenons, please add tenon EPA with Luminaire EPA							
PB-1A*; PT-1; PW-1A3**	PB-2A*; PB-2R2.375; PD-2A4(180); PT-2(180); PW-2A3**	PB-2A*	PB-3A*	PB-3A*; PT-3(120)	PB-3A*; PB-3R2.375	PB-4A*(180)	PB-4A*(90); PB-4R2.375
90° Tilt							
2.61	2.61	4.44	6.05	5.11	9.79	13.28	10.39

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation

** Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

Tenon EPA

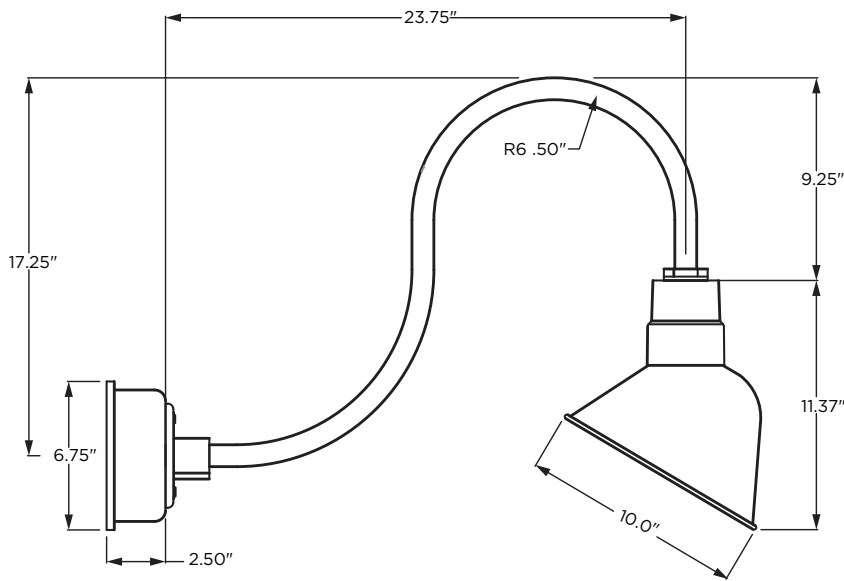
Tenon	EPA
PB-1A*	None
PB-2A*	0.82
PB-3A*	1.52
PB-4A*(180)	2.22
PB-4A*(90)	1.11
PB-2R2.375	0.92
PB-3R2.375	1.62
PB-4R2.375	2.32
PD Series Tenons	0.09
PT Series Tenons	0.10
PW-1A3**	0.47
PW-2A3**	0.94
WM-2	0.08
WM-4	0.25

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation

** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

Tenons and Brackets (must specify color)	
Square Internal Mount Vertical Tenons (Steel) - Mounts to 3-6" (76-152mm) square aluminum or steel poles PB-1A* – Single PB-4A*(90) – 90° Quad PB-2A* – 180° Twin PB-4A*(180) – 180° Quad PB-3A* – 180° Triple	Round Internal Mount Vertical Tenons (Steel) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons PB-2R2.375 – Twin PB-4R2.375 – Quad PB-3R2.375 – Triple
Square Internal Mount Horizontal Tenons (Aluminum) - Mounts to 4" (102mm) square aluminum or steel poles PD-2A4(90) – 90° Twin PD-3A4(90) – 90° Triple PD-2A4(180) – 180° Twin PD-4A4(90) – 90° Quad	Round External Mount Horizontal Tenons (Aluminum) - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons - Mounts to square pole with PB-1A* tenon PT-1 – Single PT-3(90) – 90° Triple PT-2(90) – 90° Twin PT-4(90) – 90° Quad PT-2(180) – 180° Twin
Wall Mount Brackets - Mounts to wall, roof or side of wood pole WM-2 – Horizontal WM-4 – L-Shape	Mid-Pole Bracket - Mounts to square pole PW-1A3** – Single PW-2A3** – Double

10" Angle Shade Luminaire LED Decorative Wall Series



Type: C-LED

CATALOG

CL-H-18110-91-HL-D-91-13-LED2-30-D-BCM-M

ILLUMINATION

13 watt dome lens LED module

COLOR TEMPERATURE

3000K

VOLTAGE

120/277V

FINISH COLOR

Polyester, polished black powder coat

FEATURES

- Heavy duty, spun aluminum reflector
- 6.75" canopy duplicating finish color
- Lumens: 1,250
- 96° beam angle
- Ballast canopy mount




COMPLIANCE

cULus Listed; suitable for wet, damp, and dry locations

WARRANTY

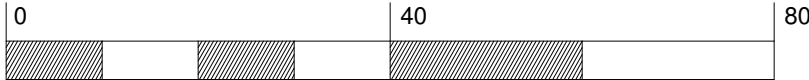
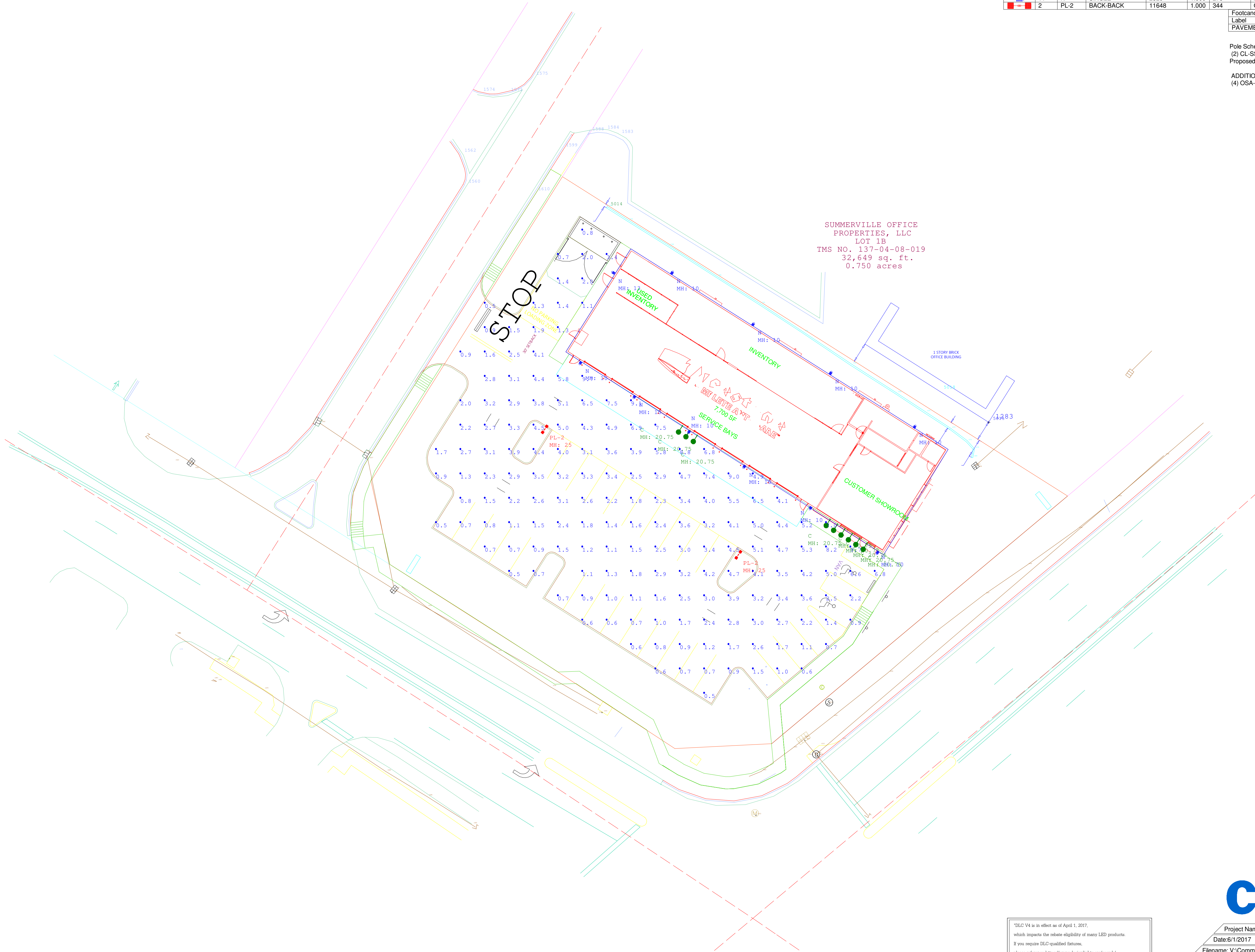
One-year limited warranty. Certain exclusions apply. For details, visit www.cree.com/lighting/ILS



Luminaire Schedule											
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description				
	9	C	SINGLE	N.A.	1.000	117	CL-H-18110-91-HL-D-91-13-LED2-30-D-BCM-M				
	11	N	SINGLE	2529	1.000	275	XSPW-A-O-3-F-G-U-T				
	2	PL-2	BACK-BACK	11648	1.000	344	OSQ-A-NM-4ME-B-57K-UL-BK + OSQ-DABK				
							Footcandles calculated using initial lumen values				
Label							Avg	Max	Min	Avg/Min	Max/Min
PAVEMENT							2.95	9.7	0.5	5.90	19.40

Pole Schedule
(2) CL-SSP-4011-25-D2-BK (25' X 4" STEEL SQUARE POLE)
Proposed poles meet 120 MPH sustained winds.

ADDITIONAL EQUIPMENT
(4) OSA-DABK (DIRECT ARM MOUNTING)



"DLC V4 is in effect as of April 1, 2017, which impacts the rebate eligibility of many LED products. If you require DLC-qualified fixtures, please reference <https://www.designlights.org/search/> for updated qualified product listings. Email rebates@cree.com or rebates@cree.com for assistance."



1200 92nd Street - Shoreview, WI 53177
www.cree.com - (800) 236-6800

Project Name: FIRESTONE - SUMMERVILLE, SC
Date: 6/1/2017
Scale: 1"=20'
Footcandles calculated at grade
Filename: V:\Common\AppEng\NAT\FRS-170531SVSCC\JBRI.AGI
Layout by: CHRIS BOSANEC

Illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting, or energy code.

**STAFF REPORT
CDRB Meeting
June 15, 2017 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 7, 2017

GENERAL INFORMATION

Project/Applicant: Summerville Fire-Rescue Station 3
Property Owner: Town of Summerville
Requested Action: The applicant is requesting final approval to demolish the existing fire station and construct a new station.
Requested Approval: Final Approval
Existing Zoning: PL, Public Lands
Location: 1701 Old Trolley Road
Existing Land Use: Fire Station
Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Staff Comments:

The Town's Engineering Department had the following comments: Coordinate with SCDOT for encroachment permit for the driveway on Old Trolley Road. Based upon preliminary staff review, the project meets the Zoning Ordinance as PL is subject to approval by Town Council, which has given its approval of the plans.



Post Office Box 1168
Summerville, SC 29484-1168
Ph 843.873.4667
Fax 843.486.0039
Email info@tupcoinc.com
Website www.tupcoinc.com

**Submission for Review and Approval to the
Summerville Commercial Design Review Board**

Project Title: **Summerville Fire-Rescue Station 3**
Project Location: **1703 Old Trolley Road, Summerville, SC 29483**
Owner: **Town of Summerville, Fire Department**
Summerville, SC
Contractor: **Tupco, Inc.**
Summerville, SC
Submission Date: **May 31, 2017** Commercial Review Board Meeting: **June 15, 2017**

One (1) Copy of the Commercial Design Review Board Application

Eight (8) Copies of the following:

- General Scope of Exterior and Interior Work
- Photo of Existing Fire Station 3, and Proposed New Fire Station 3
- Proposed New Colors, Brick and Metal Trim
- Front, Rear, and Side Elevations
- Interior Floor Plan
- Civil Drawing C5.01



Post Office Box 1168
Summerville, SC 29484-1168
Ph 843.873.4667
Fax 843.486.0039
Email info@tupcoinc.com
Website www.tupcoinc.com

Project Title: **Summerville Fire-Rescue Station 3**
Project Location: **1703 Old Trolley Road, Summerville, SC 29483**
Owner: **Town of Summerville, Fire Department**
Summerville, SC
Contractor: **Tupco, Inc.**
Summerville, SC
Submission Date: **May 31, 2017**

Commercial Review Board Meeting: **June 15, 2017**

GENERAL SCOPE OF PROJECT:

Site Work includes providing and installing the following:

- Demo and remove existing block building
- Demo existing asphalt, concrete
- Complete site work to accommodate new building
- Asphalt, concrete, trench drain
- Landscaping by Owner
- Temporary trailers for personnel and trucks by Owner

Building and Interior Work:

- Construction of new pre-engineered steel building, 7,900 sf
- Standing Seam Metal Roof
- Complete Brick Façade
- Electrical, HVAC, and new plumbing
- Concrete slab
- Storefront Door and Windows
- New ceramic tile on bathroom flooring and walls
- Concrete seal for interior living areas
- Install all drywall, ACT ceiling, metal stud framing
- Painting, trim work, cabinetry

Project Title: **Summerville Fire-Rescue Station 3**
Project Location: **1703 Old Trolley Road, Summerville, SC 29483**
Owner: **Town of Summerville, Fire Department**
Summerville, SC
Contractor: **Tupco, Inc.**
Summerville, SC
Submission Date: **May 31, 2017**

Commercial Review Board Meeting: **June 15, 2017**

EXISTING BLOCK BUILDING AND CONDITION / NEW PROPOSED BUILDING



Existing Station 3



Proposed Station 3



METAL TRIM, OVERHEAD DOORS – KYNAR BROWN AND BURNISHED SLATE

NEW BRICK – TO MATCH EXISTING FIRE STATION 2 (see photo)

Boral's Full Range Wire Cut Modulares

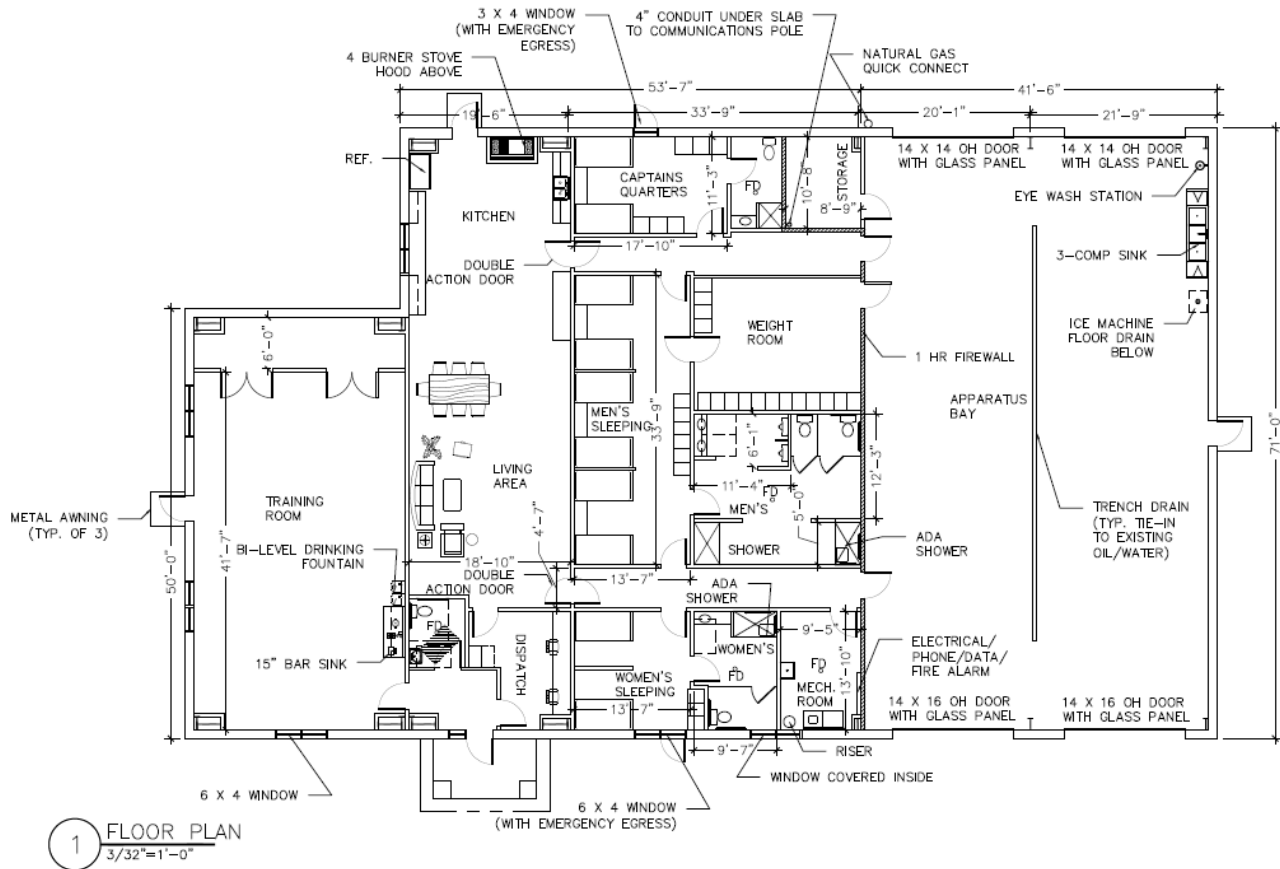
Accent Brick: Carolina Ceramics' Cocoa Velour Modulares

Brick Mortar: Argos's Brown



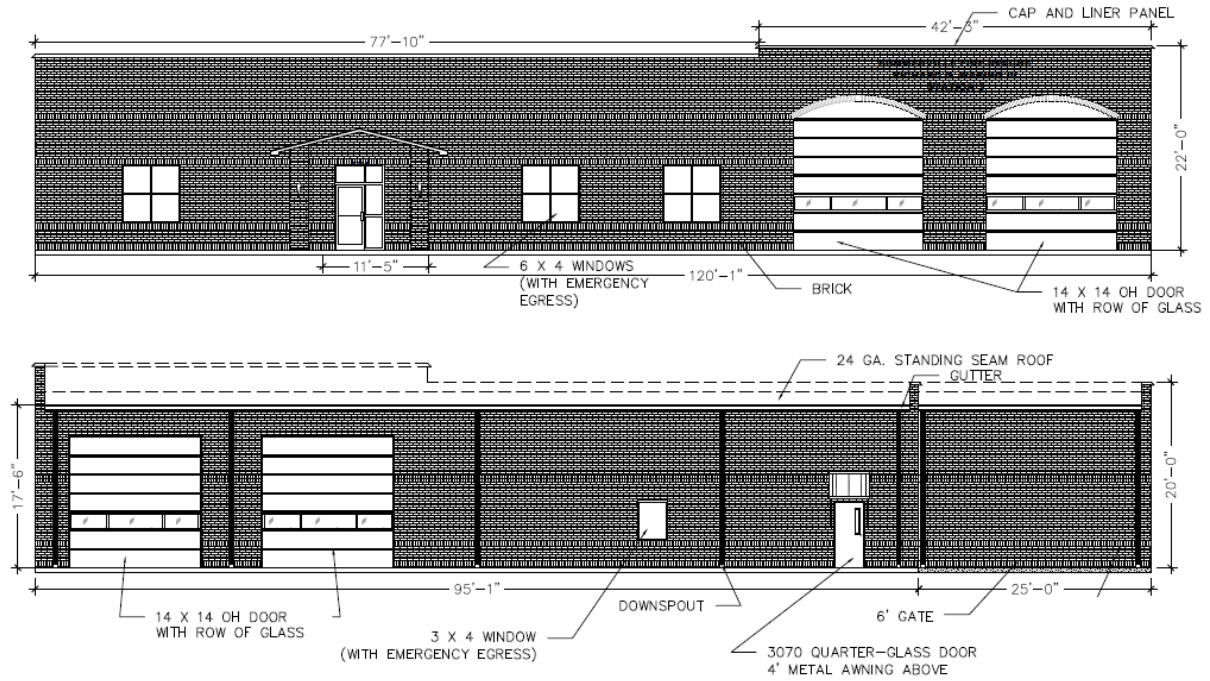
Existing Station 2 – for reference





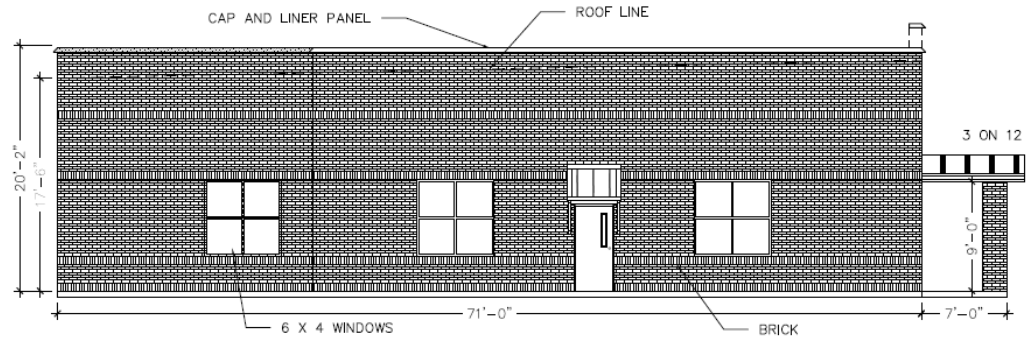
FLOOR PLAN

2 FRONT ELEVATION
3/32"=1'-0"

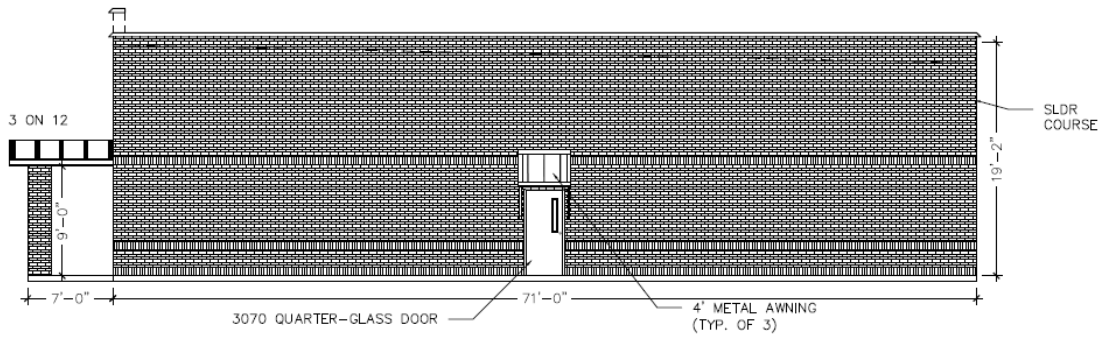


3 REAR ELEVATION
3/32"=1'-0"

FRONT AND REAR ELEVATIONS



4 LEFT ELEVATION
1/8"=1'-0"



5 RIGHT ELEVATION
1/8"=1'-0"

SIDE ELEVATIONS

**STAFF REPORT
CDRB Meeting
June 15, 2017 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 7, 2017

GENERAL INFORMATION

Project/Applicant: Hudson Nissan Summerville
Property Owner: Hudson Nissan C/O Calhoun Automotive
Requested Action: The applicant is requesting conceptual review to construct a car dealership.
Requested Approval: Conceptual Review
Existing Zoning: B-3, General Business
Location: Sheep Island Road & Holiday Drive
Existing Land Use: Vacant property

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Staff Comments:

Staff comments are: Cannot clear until all permits are approved. The drainage ditch that is draining onto the property from Interstate 26 needs to be accommodated in the submitted plans. A parking justification letter will be needed.

Town of Summerville



Date Received: _____

Amount Paid: _____

Staff Initial: _____

Department of Planning & Development
200 S. Main Street
Summerville, SC 29483

COMMERCIAL DESIGN REVIEW BOARD APPLICATION

REQUIREMENTS: This application, **8 sets (11x17 size) of plans AND one digital copy** (site, landscape, and architectural), and any applicable fees (see fee schedule) must be submitted to the Department of Planning and Development at least 15 days prior to the Commercial Development Design Review Board meeting. Applications must include all applicable information required in the Commercial Design Review Application Checklist and **all sets of plans must be collated and folded**. Final plans must carry the seal of a registered architect or engineer licensed in the State of South Carolina. Applicants or a representative must be present for an item to be heard.

REQUEST:

☒ Conceptual Review (only requires photos of site, proposed building elevations, and site plan)

☐ Preliminary Approval (see attached checklist)

☐ Final Approval (see attached checklist)

Preliminary Approval Granted On: _____

PROJECT NAME: Hudson Nissan Summerville

PROJECT'S COMPLETE ADDRESS (if in shopping center, indicate name)

Northeast Corner of the Sheep Island and Holiday Drive Intersection

PRIMARY CONTACT'S EMAIL ADDRESS: khoyt@hoytberenyi.com

Owner/Developer's Name Scott Calhoun Firm Hudson Nissan c/o Calhoun Automotive Phone (828) 808-2649

Primary Contact's Name Kyle Hoyt Firm Hoyt Berenyi Phone (843) 408-3546

Architect's Name Michael Rouse Firm Michael Rouse Phone (828) 216-3736

Landscape Arch. Name Kyle Hoyt Firm Hoyt Berenyi Phone (843) 408-3546

Engineers Name Kyle Hoyt Firm Hoyt Berenyi Phone (843) 408-3546

The Commercial Development Design Review Board will meet at 4:00 p.m. on June 15, 2017

I have read and understand the instructions accompanying this application form. I certify that all information required by the Site and Architectural Plan Checklist is included and the application is complete. If an application is found to be incomplete, the primary contact will be notified and the application will be removed from the agenda. I also understand that any changes made to the drawings approved by the Commercial Design Review Board must be resubmitted for approval of any change or alteration. A Certificate of Occupancy will not be issued if the building and/or site and landscaping differ from the approved plans.


Signature of Owner/Developer



May 31, 2017

Jessi Shuler
Town of Summerville
Zoning Administrator
200 South Main Street
Summerville, SC 29483

**RE: Hudson Nissan Summerville
TMS #221-00-00-101
Conceptual CDRB Submittal**

Dear Jessi:

Attached please find the completed CDRB application and (8) copies of:

1. 11x17 Conceptual Plan Set Including:
 - a. Title Sheet
 - b. Thomas & Hutton Survey
 - c. Site Plan
 - d. Architectural Floor Plan
 - e. Architectural Elevations
 - f. NREDI 2.0 Rendering
2. Site and Adjacent Property Photos

I trust the attached is sufficient for the conceptual submittal; and, for us to continue our discussions on the Hudson Nissan project. If you have any questions, or require any additional information, please do not hesitate to contact me at (843)408-3546, or via email at KHoyt@HoytBerenyi.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'KHoyt', with a stylized flourish at the end.

Kyle M. Hoyt, P.E.
Vice President
Hoyt + Berenyi
KHoyt@HoytBerenyi.com

Copy: #17-013



#1- Western property line and adjacent property to West - existing vegetation



#2- Southwest property line - Existing vegetation



#3- SCDOT right-of-way from corner of Sheep Island and Holiday Dr



#4- Northeast property line - Existing vegetation



#5- Northeastern property line- adjacent property to Southeast



#6- Standing at Southeast property line - adjacent property to the South



#7- Adjacent property to Southeast across Holiday Dr from apartment complex



#8- Apartment complex to the Southeast along Holiday Drive



#9- Neighboring property to the South across Holiday Drive from property



#10 - Neighboring property to Southeast



#11- Adjacent residential neighborhood to the Southwest



#12- Southern adjacent property - existing vegetation and SCDOT right-of-way

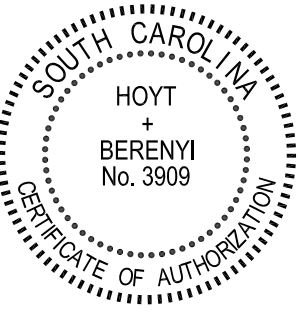
NOT FOR CONSTRUCTION OR
FULL PERMIT REVIEW

Corner of Holiday Drive and Sheep Island Road
TMS #221-00-00-101
Town of Summerville, South Carolina



- Title Sheet
- Thomas & Hutton Survey
- Site Plan
- Architectural Floor Plan
- Architectural Elevations
- NREDI 2.0 Rendering

PROJECT TEAM				
	COMPANY	CONTACT	PHONE/EMAIL	MAILING ADDRESS
OWNER	HUDSON NISSAN C/O CALHOUN AUTOMOTIVE	SCOTT CALHOUN	828.808.2649 SCOTT@CALHOUNAUTOMOTIVE.COM	-----
ARCHITECT	MICHAEL ROUSE	MICHAEL ROUSE	828.216.3736 MIKE@MICHAELROUSE-ARCHITECT.COM	37 WOODVALE AVENUE ASHEVILLE, NC 28804
CIVIL ENGINEER	HOYT + BERENY, LLC.	KYLE HOYT	843.408.3546 KHOYT@BERENY.COM	PO BOX 1470 LADSON, SC 29456
CONTRACTOR	TO BE DETERMINED	-----	-----	-----



DRAWINGS FOR:

Hudson Nissan Summerville

Portion of TMS #221-00-00-101
Town of Summerville, SC

[illegible]

DRAWN BY: Kyle M. Hoyt, P.E.

CHECKED BY: Gary F. Berenyi, P.E.

DATE:	May 31, 2017
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PROJECT #:	17-013
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SCALE:	As Noted
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SHEET TITLE:

Title Sheet

1. *Journal of the American Medical Association*, 1997; 277: 1039-1043.

SHEET NUMBER:

1000

Title

File

Prüfung

ESSEX FARMS LLC TMS #221-00-00-101 PLAT CAB O, Pg. 98A

S.C. GRID (NAD83)

INTERSTATE 26 - EASTBOUND LANE
PUBLIC R/W MOTH VARIES

POINT OF BEGINNING

AZALEA SQUARE SELF
STORAGE LLC
TMS #221-00-00-138
PLAT CAB N, Pg. 239H

TAH CONTROL POINT
IRON PIPE W/ TAH PLASTIC CAP
N: 442,572.61
E: 2,257,774.66
ELEV: 80.95 (NAVDS88)

ESSEX FARMS LLC
TMS #221-00-00-101
PLAT CAB O, Pg. 98A
15.40 acres

STORM MANHOLE
FR: 81.82
IE: 78.97(N)
IE: 78.98(SW)
IE: 78.32(WW)

STORM MANHOLE
FR: 81.82
IE: 78.97(N)
IE: 78.98(SW)
IE: 78.32(WW)

ESSEX FARMS LLC
TMS #221-00-00-095
PLAT CAB O, Pg. 95A

SOUTH CAROLINA DEPARTMENT
OF TRANSPORTATION

NGS STATION "HODGE"
PID DE3067
SCBPC 3900 (201 ADJ.)
N: 445,493.87
E: 2,247,717.45

TAH CONTROL POINT
IRON PIPE W/ TAH PLASTIC CAP
N: 442,670.30 FT SCBPC
E: 2,256,872.31 FT SCBPC
ELEV: 83.64 (NAVDS88)

- REFERENCES:
1. PLAT BY J. HUGH CAMPBELL, JR.
DATED NOVEMBER 21, 1985
PLAT CAB F, Pg. 212
 2. PLAT BY LEWIS E. SEABROOK
DATED AUGUST 4, 1999
PLAT CAB O, Pg. 98A
 3. PLAT BY GPA PROFESSIONAL LAND SURVEYORS
DATED NOVEMBER 13, 2007
PLAT CAB N, Pg. 239
 4. DEED BOOK 2016, Pg. 251

- LEGEND
- CABLE BOX
 - CONC. MONUMENT FOUND
 - △ CONTROL POINT
 - CURB INLET MANHOLE
 - ⊞ ELECTRIC BOX
 - IRON PIPE SET (3/4" OPEN WITH T&H PLASTIC CAP)
 - IRON REBAR FOUND (5/8" UNLESS NOTED)
 - IRON REBAR SET
 - ⊞ UNDERGROUND UTILITY LINE MARKER
 - ⊞ POWER POLE
 - ⊞ STORM DRAINAGE MANHOLE
 - ⊞ SIGN
 - TELEPHONE BOX

LINE TABLE		
LINE	BEARING	LENGTH
L1	S 52°06'46" E	19.96'
L2	S 16°40'22" W	17.65'

CURVE TABLE				
CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH
C1	195.40'	356.77'	N 57°33'33" W	355.45'
C2	1810.99'	176.18'	N 63°09'37" W	176.11'
C3	1094.37'	588.10'	N 23°09'50" E	581.05'

- NOTES
1. TAX MAP NO. (PARENT TRACT): 221-00-00-101
 2. ACCORDING TO F.I.R.M. MAP NO. 450029, PANEL 0270C, DATED MAY 6, 1996, THE PROPERTY SHOWN ON THIS PLAT IS LOCATED IN FLOOD HAZARD ZONE X.
 3. COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON SOUTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD83). DISTANCES SHOWN ARE GROUND DISTANCES, NOT GRID DISTANCES.
 4. A TITLE SEARCH WAS NOT PERFORMED BY THOMAS & HUTTON ENGINEERING CO. AT THE TIME OF THIS SURVEY.
 5. THE PROPERTY PLATTED HEREON IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 6. DEED REFERENCE: D.B. 1717, PG. 0104.
 7. THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APPURTENANCES AND/OR SURFACE MARKINGS AND SHOULD BE CONSIDERED APPROXIMATE.
 8. THIS PROPERTY IS CURRENTLY ZONED B3-GENERAL BUSINESS, AS PER ZONING ORDINANCE SECTION 32-131.



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I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

F. ELLIOTTE QUINN III
SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 10292

TOPOGRAPHIC SURVEY OF A

15.40 Ac. TRACT
OWNED BY
ESSEX FARMS, LLC
TMS #221-00-00-101

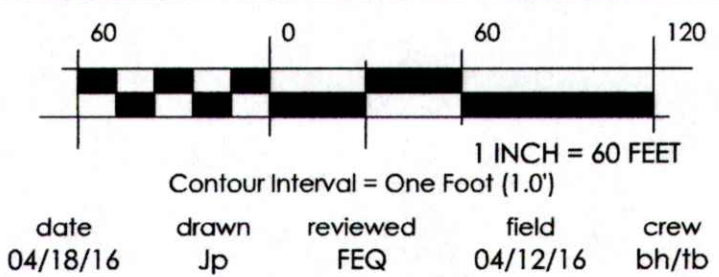
TOWN OF SUMMERVILLE
BERKELEY COUNTY, SOUTH CAROLINA

prepared for
HUDSON DEALERSHIP PROPERTIES
LIMITED PARTNERSHIP

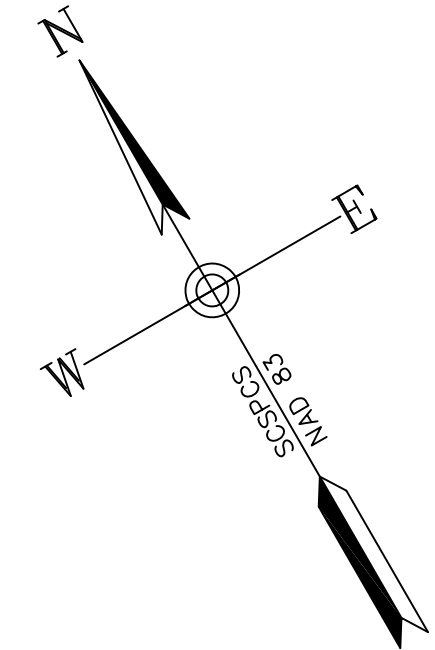
THOMAS & HUTTON
Engineering | Surveying | Planning | GIS | Consulting

682 Johnnie Dodds Boulevard • Suite 100
Mt. Pleasant, SC 29464 • 843.849.0200

www.thomasandhutton.com



date 04/18/16 drawn Jp reviewed FEQ field bh/b crew



TOTAL PARKING/INVENTORY SPACES = 676 SPACES

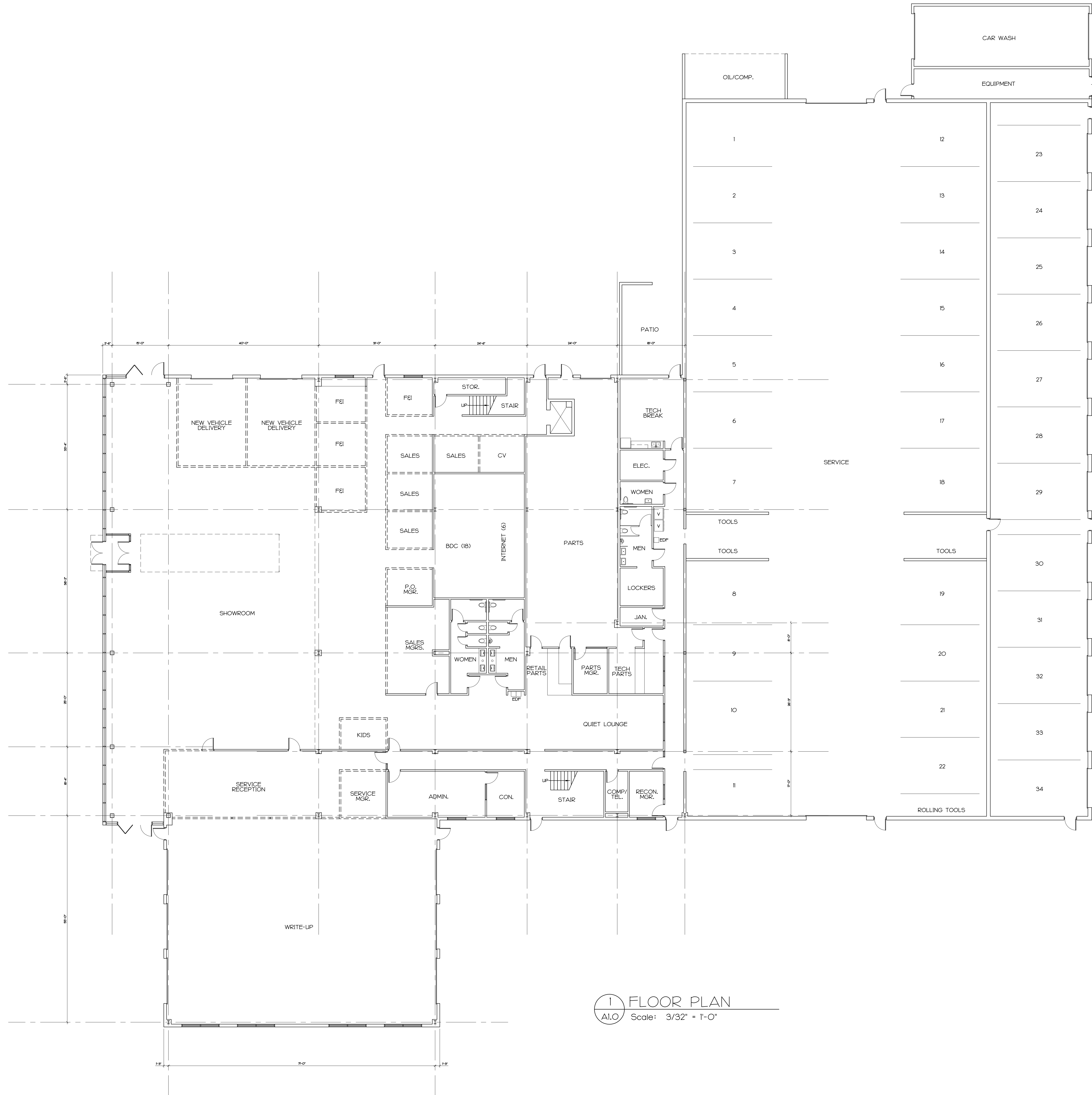
HOLIDAY DRIVE (66' TOWN R/W)



Town of Summerville, SC

SHEET NUMBER:

Site Plan



1 FLOOR PLAN
A1.0 Scale: 3/32" = 1'-0"

MICHAEL ROUSE
ARCHITECT PA
37 WOODVALE AVENUE
ASHEVILLE, NC 28804
828-216-3736

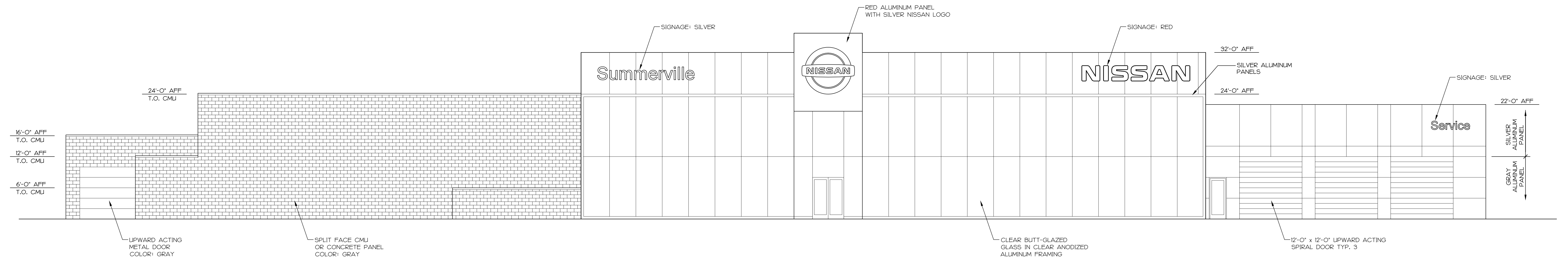
PROJECT
SUMMERVILLE
NISSAN

PROJECT NUMBER: 1610
DATE: MAY 30, 2017
REVISIONS:

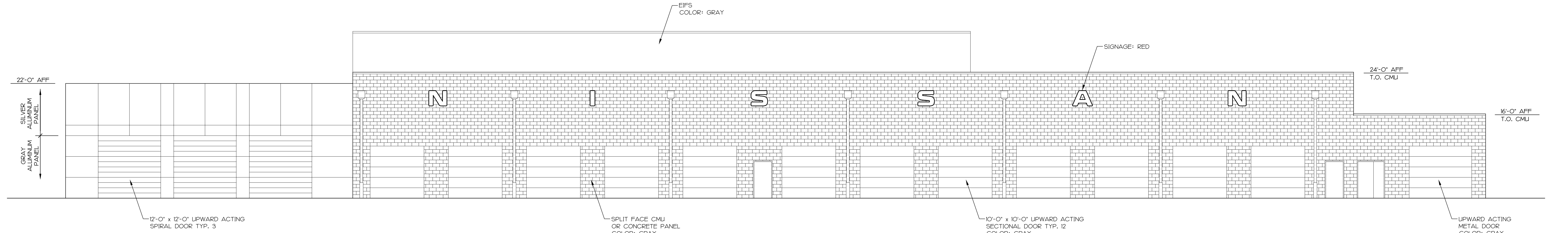
SHEET DESCRIPTION:
FLOOR PLAN

SHEET NUMBER:

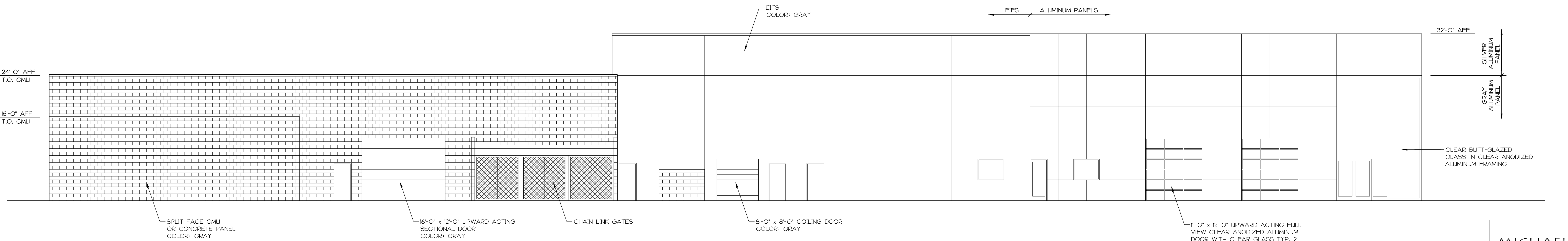
A1.0



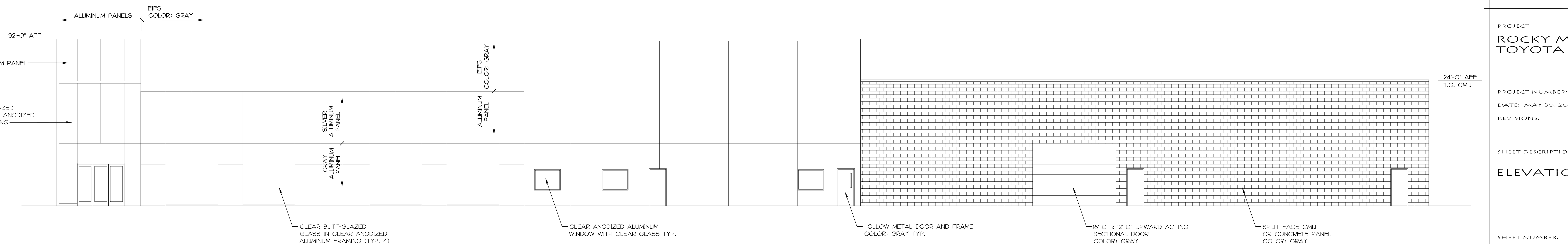
1 FRONT ELEVATION
A2.0 Scale: 1/8" = 1'-0"



2 REAR ELEVATION
A2.0 Scale: 1/8" = 1'-0"



3 LEFT SIDE ELEVATION
A2.0 Scale: 1/8" = 1'-0"



4 RIGHT SIDE ELEVATION
A2.0 Scale: 1/8" = 1'-0"

MICHAEL ROUSE

ARCHITECT P.A.
37 WOODVALE AVENUE
ASHEVILLE, NC 38804
828-216-3736

PROJECT
ROCKY MOUNT
TOYOTA

PROJECT NUMBER: 1614
DATE: MAY 30, 2017
REVISIONS:

SHEET DESCRIPTION:
ELEVATIONS

SHEET NUMBER:

A2.0

Rendering



Before



Facility Proposal

Summerville Open Point
Summerville, SC

Sheet Description:

January 20, 2017
Template: V160906

These drawings are for communication of design intent only.
These drawings are not suitable for construction or fabrication.

Sheet No.:

4 - 13

**STAFF REPORT
CDRB Meeting
June 15, 2017 at 4:00 p.m.**

TO: Town of Summerville CDRB
FROM: Planning Staff
DATE: June 7, 2017

GENERAL INFORMATION

Project/Applicant: Veterinary Specialty Care
Property Owner: Veterinary Specialty Care
Requested Action: The applicant is requesting preliminary approval to construct a veterinary clinic.
Requested Approval: Preliminary Review
Existing Zoning: B-3, General Business
Location: 319 E. 3rd North Street
Existing Land Use: Vacant Property

Ordinance Reference:

Sec. 32-141. Commercial design review board.

- (b) *Mission statement.* The purpose of the commercial design review board is to establish a review process that will protect and improve the visual and aesthetic character and economic value of commercial development within the town. In turn, this establishment of scenic corridors will contribute to the community's sense of place and pride further strengthening the town's unity of character. Through this process, the assurance of respect for the character, integrity, and quality of the built environment of the town will be established without stifling innovative architecture and/or development. All development shall adhere to the definitions and terms outlined in all of the town's zoning ordinances and codes as preliminary criteria. The commercial design review board is granted the authority to determine the appropriateness of the construction of the commercial site in pursuit of achieving that style which is characteristic of the region and of the town in particular as stated in the guidelines of this section.

Staff Comments:

The Town's Engineering Department had the following comments: Staff supports the removal of the driveway on East 3rd North Street. A sidewalk is needed on Berlin G. Myers Parkway side. A dedicated pedestrian easement for the sidewalk is needed since it is on private property along the East 3rd North Street side. A letter is needed from the owner of Parkway Drive allowing the new driveway; Parkway Drive is a private street. Verify with CPW if a dog yard is allowed in their sewer easement. Bicycle parking is not required as this is one of the exempt uses, Veterinary Clinics. Two additional parking spaces are required on site. Location of building to be determined by CDRB, setbacks need to be met. Dumpsters are screened but in the front of the building. Landscaping appears to meet ordinance requirements.

VETERINARY SPECIALTY CARE SUMMERVILLE, SC

319 E 3RD ST
PRELIMINARY COMMERCIAL DESIGN REVIEW, MAY 2017

DESIGN TEAM

ARCHITECT:	LFK Architects, LLC 802 Coleman Blvd, Suite 100 Mt. Pleasant, SC 29464 Phone: (843)330-8940 Contact: Losse Knight, AIA, NCARB losse@lfkarchitect.com
CIVIL :	Earthsource Engineering 887 Johnnie Dodds Blvd Suite 220 Mt Pleasant, SC 29464 Kevin M. Berry, PE, LEED AP berryk@earthsourceeng.com 843.881.0525
OWNER :	VETERINARY SPECIALTY CARE
CONTRACTOR	HILL CONTRACTING Ted Chestnut, LEED AP 843.371.4142



ENTRY LOBBY & COURTYARD RENDERING

This newly proposed 15,000+ SF Veterinary Specialty Care facility will provide services bringing the highest level of specialized veterinary care to Summerville. The hospital will not only include a 24 hour emergency hospital, but also specialists in veterinary surgery, internal medicine, oncology, cardiology and neurology.



VETERINARY
SPECIALTY CARE
—SUMMERVILLE—

SHEET INDEX

COVER SHEET

1- COVER SHEET

AERIALS

A001 - AERIAL VIEW OF SITE
A002 - ENLARGED AERIAL

CIVIL

CIVIL COVER SHEET

C-100 EXISTING CONDITIONS AND EROSION
CONTROL

C-200 SITE AND LAYOUT PLAN
C-300 GRADING AND DRAINAGE PLAN
C-400 UTILITY PLAN
C-500 DETAIL SHEET
L-100 LANDSCAPE PLAN AND PLANT SCHEDULE

ARCHITECTURAL

A004 - EXISTING SITE
A005 - EXISTING SITE CONTEXT 1
A006 - EXISTING SITE CONTEXT 2

A101 - GROUND FLOOR PLAN
A102 - 2ND FLOOR PLAN
A103 - ROOF PLAN

A110 - SOUTH EAST BIRD'S EYE - BERLIN MYERS & 3RD N
ST INTERSECTION
A111 - BIRD'S EYE - VIEW NORTH
A112 - BIRD'S EYE - VIEW WEST
A113 - BIRD'S EYE FROM EAST 3RD N ST

A114 - PRIMARY ENTRY & COURTYARD RENDERING
A115 - EAST 3RD N & BERLIN MYERS INTERSECTION
RENDERING
A116 - PERSPECTIVE VIEW ALONG BERLING MYERS PKWY

A201 - WEST AND SOUTH ELEVATIONS
A202 - EAST AND NORTH ELEVATIONS

A300 - REFERENCE ARTICLES

CDRB STAMP



LFK ARCHITECTS, LLC

843-330-8940

802 COLEMAN BLVD, SUITE 100

MOUNT PLEASANT, SC 29464

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DESIGN DEVELOPMENT PHASE
VETERINARY SPECIALTY CARE
SUMMERVILLE, SC
DATE : 05/31/17

COVER SHEET



AERIAL VIEW OF SITE – 319 E 3RD ST, SUMMERVILLE, SC 29483



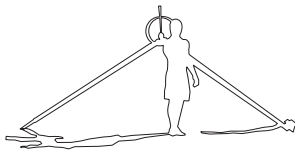
VETERINARY
SPECIALTY CARE
—SUMMERVILLE—

VETERINARY SPECIALTY CARE

SUMMERVILLE, SC

DATE : 05.31.17

A 001



| LFK ARCHITECTS, LLC | 843.330.8940 | 802 COLEMAN BLVD, SUITE 100 | MOUNT PLEASANT, SC 29464 |

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ENLARGED AERIAL – 319 E 3RD ST

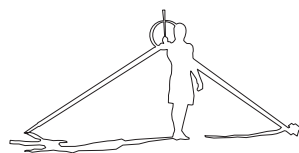


VETERINARY SPECIALTY CARE

SUMMERVILLE, SC

DATE : 05.31.17

A 002



| LFK ARCHITECTS, LLC | 843.330.8940 | 802 COLEMAN BLVD, SUITE 100 | MOUNT PLEASANT, SC 29464 |

COPYRIGHT LFK ARCHITECTS 2017

SITE DATA	EROSION CONTROL, GENERAL PAVING, & GRADING NOTES	TOWN OF SUMMERVILLE SWPPP NOTES
<div><div>SITE DATA:</div><div>TMS#: 137-04-07-015 LOT SIZE (TOTAL): ±1.3 ACRES AREA OF DISTURBANCE: 1.8 ACRES FLOOD ZONE: X COMMUNITY PANEL FIRM PANEL#: 45000680245C DATE: APRIL 15, 1994 ZONED: B-3 (GENERAL BUSINESS) BUFFERS: FRONT: 10' SIDE/EAST: 15' REAR: 5' SETBACKS: FRONT: 20' SIDE: 10' REAR: 5' PROPOSED VET CLINIC: 15,175 SQ.-FT. PARKING REQUIRED: -OFFICE: (15,175 SQ.FT.) -1 SPACE PER 300 SQ.-FT. = 51 SPACES HANDICAP: 1 PER 25 SPACES PARKING PROVIDED: REGULAR=48 SPACES HANDI=3 SPACES TOTAL=51 SPACES <div>BENCH MARK DATA: TBM#: PK IN ASPHALT ALONG PARKWAY AVE ELEV.=65.49' DATUM: NAVD88</div></div></div>	<div><div>EROSION CONTROL NOTES:</div><div><div>1. IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.</div><div>2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.<ul style="list-style-type: none">WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.</div><div>3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.</div><div>4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.</div><div>5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.</div><div>6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.</div><div>7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C REG. 72--300 ET SEQ. AND SCRI00000.</div><div>8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.</div><div>9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.</div><div>10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.</div><div>11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS ACHIEVED.</div><div>12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.</div><div>13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.</div><div>14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE;</div><div>15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DRAINAGE OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).</div><div>16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:<ul style="list-style-type: none">WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;FUELS,OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.</div><div>17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.</div><div>18. IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.</div><div>19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.</div><div><div>GENERAL PAVING AND GRADING NOTES:</div><div><div>1. CONTRACTOR TO VERIFY ALL ELEVATIONS, GRADES, AND DRAINAGE STRUCTURES PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, PLEASE CONTACT THE ENGINEER.</div><div>2. CONTRACTOR IS TO HAVE SCHEC/OCRM LAND DISTURBANCE PERMIT AND APPROVED DRAWINGS AND SHALL APPLY FOR THE PLACARD IF REQUIRED.</div><div>3. A CLEARING AND GRADING PERMIT PROVIDED BY THE LOCAL MUNICIPALITY SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION.</div><div>4. CONTRACTOR SHALL FOLLOW THE CONSTRUCTION SEQUENCE ON THE DETAIL SHEET C--001 TO PREVENT STORMWATER AND SEDIMENT FROM LEAVING THE SITE.</div><div>5. WATER ENCOUNTERED WHILE TRENCHING FOR UTILITIES MUST BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE DISCHARGING OFF SITE. PUMP INTAKES SHOULD HAVE A FLOAT OR SIT ON A BED OF ROCK TO PREVENT DREDGING AND THE DISCHARGE SHOULD BE THROUGH AN ENERGY DISSIPATER AND/OR SEDIMENT TRAP.</div><div>6. CONTRACTOR SHALL ENSURE THAT ALL EXISTING DRAINAGE STRUCTURES WITHIN THE ADJACENT RIGHT-OF-WAYS AND INGRESS/EGRESS EASEMENTS SHALL CONTINUE TO FUNCTION DURING ALL PHASES OF CONSTRUCTION.</div><div>7. GRADING AROUND ANY PROTECTED TREE SHALL BE KEPT TO A MINIMUM.</div><div>8. ON ALL PORTIONS OF BUILDINGS WITHOUT DOWN SPOUTS, CONTRACTOR IS TO INSTALL A GRAVEL BASE AROUND THE AREA UNDERNEATH THE DRIP LINE ON THE ENDS OF THE BUILDINGS TO PREVENT EROSION.</div><div>9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.</div><div>10. ALL EXISTING DRAINAGE STRUCTURES ARE TO BE CLEANED AND MAINTAINED AND SHALL REMAIN OPERATIONAL THROUGHOUT ALL PHASES OF CONSTRUCTION.</div><div>11. POST-CONSTRUCTION MAINTENANCE OF THE ON-SITE STORMWATER SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.</div><div>12. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS ARE TO BE STABILIZED. DAMAGED OR INEFFECTIVE EROSION CONTROL DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY.</div></div></div></div></div>	<div><div>STOCKPILE & CONSTRUCTION DEBRIS MANAGEMENT NOTE(PHASE I):</div><div><div>1. LITTER, CONSTRUCTION DEBRIS, CONCRETE WASHOUT, OILS, FUELS, AND BUILDING PRODUCTS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.</div><div>2. SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCKPILE AREAS AND SHALL BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. SILT FENCE SHALL BE MAINTAINED AT ALL TIMES.</div><div>3. ALL CONSTRUCTION WASTE MATERIAL EXPECTED TO BE STORED ON-SITE SHALL BE CONTROLLED BY PROPER STORAGE PRACTICES SUCH AS ROLL-OFF CONTAINERS. A SPILL PREVENTION PLAN MUST BE ESTABLISHED BY THE CONTRACTOR THAT MINIMIZE EXPOSURE OF THESE WASTE MATERIALS TO STORMWATER DISCHARGES</div></div><div><div>LAND DISTURBANCE PHASE I NOTES:</div><div>(THE FOLLOWING EROSION CONTROL MEASURES SHALL BE IMPLEMENTED DURING THE INITIAL LAND DISTURBANCE PHASE.)<div><div>1. THE CONSTRUCTION ENTRANCE SHALL BE PLACED AS SHOWN ON THE PLANS.</div><div>2. IMMEDIATELY AFTER THE ESTABLISHMENT OF THE CONSTRUCTION ENTRANCE, ALL PERIMETER EROSION CONTROL & STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED AS SHOWN ON THE INITIAL PHASE OF CONSTRUCTION PLANS.</div><div>3. SILT FENCE, WHETHER REGULAR, REINFORCED, OR DOUBLE ROW OF EITHER, SHALL BE INSTALLED AT THE PERIMETER OF THE LAND DISTURBANCE. THE SILT FENCE SHOULD BE KEPT ERCT AT ALL TIMES & REPAIRED WHEN REQUESTED BY THE SITE INSPECTOR OR PROJECT DESIGN PROFESSIONAL OF RECORD. SILT SHOULD BE REMOVED WHEN ACCUMULATION REACHES 1/2 HEIGHT OF THE BARRIER. THE PERIMETER SILT FENCE SHOULD BE INSPECTED DAILY FOR ANY FAILURES. ANY FAILURES OF SAID FENCE SHOULD BE REPAIRED IMMEDIATELY.</div><div>4. INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL EXISTING STORM DRAINAGE STRUCTURES AS SHOWN ON PLAN.</div><div>5. STONE CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS NECESSARY.</div><div>6. TEMPORARY DIVERSION DITCHES SHALL BE INSTALLED TO DIRECT FLOW TO THE BASINS/TRAPS/PONDS UNTIL ROUGH GRADING RE-DIRECTSFLOWS AS NECESSARY.</div><div>7. TREE PROTECTION FENCING SHOULD BE INSTALLED PRIOR TO THE START OF ANY LAND DISTURBANCE & MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED. ANY FAILURES OF SAID FENCING SHALL BE REPAIRED IMMEDIATELY.</div><div>8. NO BURN OR BURY PITTS SHALL BE PERMITTED ON THE CONSTRUCTION SITE WITHOUT PERMISSION BY THE OWNER &/OR THE ENGINEER OF RECORD.</div><div>9. TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.</div></div></div><div><div>SEDIMENT & EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT & AT THE END OF EACH WORKING DAY. EACH DEVISE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVCE.</div><div><div>SEQUENCE OF CONSTRUCTION(PHASE II):</div><div><div>1. CONTINUE MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL FINAL STABILIZATION MEASURES ARE IN PLACE AND REMOVAL OF CONTROLS IS APPROVED BY THE DESIGNATED AUTHORITY.</div><div>2. CLEAR AND GRUB THE REMAINDER OF THE SITE.</div><div>3. COMPLETE ROUGH GRADING.</div><div>4. INITIATE INSTALLATION OF UTILITIES AND BUILDING CONSTRUCTION AS APPLICABLE.</div><div>5. INSTALL STORM DRAINAGE SYSTEM INCLUDING SEDIMENT PROTECTION AS EACH STRUCTURE IS INSTALLED.</div></div></div><div><div>LAND DISTURBANCE PHASE II NOTES (CONSTRUCTION PHASE):</div><div><div>1. SILT FENCE SHALL BE PLACED AT THE TOE OF ALL DIRT STOCK PILE AREAS.</div><div>2. INLET SEDIMENT PROTECTION SHALL BE INSTALLED ON ALL STORM DRAINAGE STRUCTURES AS THEY ARE CONSTRUCTED. SEE PLAN VIEW AND DETAILS FOR TYPE AND INFORMATION.</div><div>3. STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLETS AS THEY ARE INSTALLED.</div><div>4. ALL DRAINAGE SWALES SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADES ARE ACHIEVED.</div><div>5. ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADES ARE ACHIEVED.</div><div>6. TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 7 DAYS OF LAND DISTURBANCE CEASING.</div></div><div><div>SEDIMENT AND EROSION CONTROL MEASURES SHOULD BE CHECKED AFTER EACH RAIN EVENT AND AT THE END OF EACH WORKING DAY. EACH DEVISE IS TO BE MAINTAINED OR REPLACED IF THE SEDIMENT ACCUMULATION HAS REACHED THE CAPACITY OF THE DEVCE.</div><div><div>THE CONSTRUCTION EXIT SHALL BE MA</div></div></div></div></div></div></div>

LEGEND:

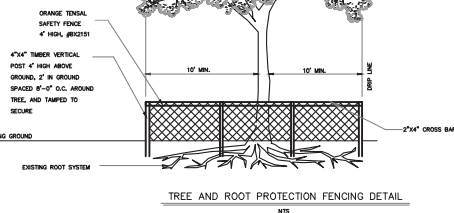
- PROPERTY LINE
ADJACENT PROPERTY
EX 8" PVC
EX 10" WATER MAIN
LIMITS OF DISTURBANCE/SILT FENCE
EDGE OF PAVEMENT
EXISTING CONTOURS
EX UGP
EXISTING INGRESS/EGRESS EASEMENT
EXISTING UTILITY EASEMENT
LIMITS OF DISTURBANCE
EXISTING 24 HDPE STORM DRAIN
EXISTING 18" CMP STORM DRAIN
EXISTING DRAINAGE FLOW
EXISTING SPOT ELEVATION
EX-ELECTRICAL BOX
EX-SEWER MANHOLE
EX-ASPHALT
EX-ASPHALT TO BE REMOVED (6,805 SF)
CONCRETE WASHOUT
TREE REMOVE
TREE PROTECTION

SITE SURFACES:

TOTAL PRE-DEVELOPED PERVIOUS SURFACE AREA: 1.04 ACRES 87% OF SITE
TOTAL PRE-DEVELOPED IMPERVIOUS SURFACE AREA: 0.16 ACRES 13% OF SITE
ASPHALT PARKINGS:
TOTAL DISTURBED AREA: 1.20 ACRES

NOTE:

PROTECTION FENCE TO EXTEND AROUND TREE AT DRIP LINE AS SHOWN. ALL MAJOR TREES INDICATED ON PLANS TO REMAIN MUST BE PROTECTED BY A PROTECTION FENCE. NO MACHINERY OR CONSTRUCTION MATERIALS SHALL BE PLACED WITHIN THE DRIP LINE OF THESE TREES AT ANY TIME DURING CONSTRUCTION. PROTECTION FENCE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION, AND UNTIL ALL FINAL APPROVALS ARE OBTAINED.

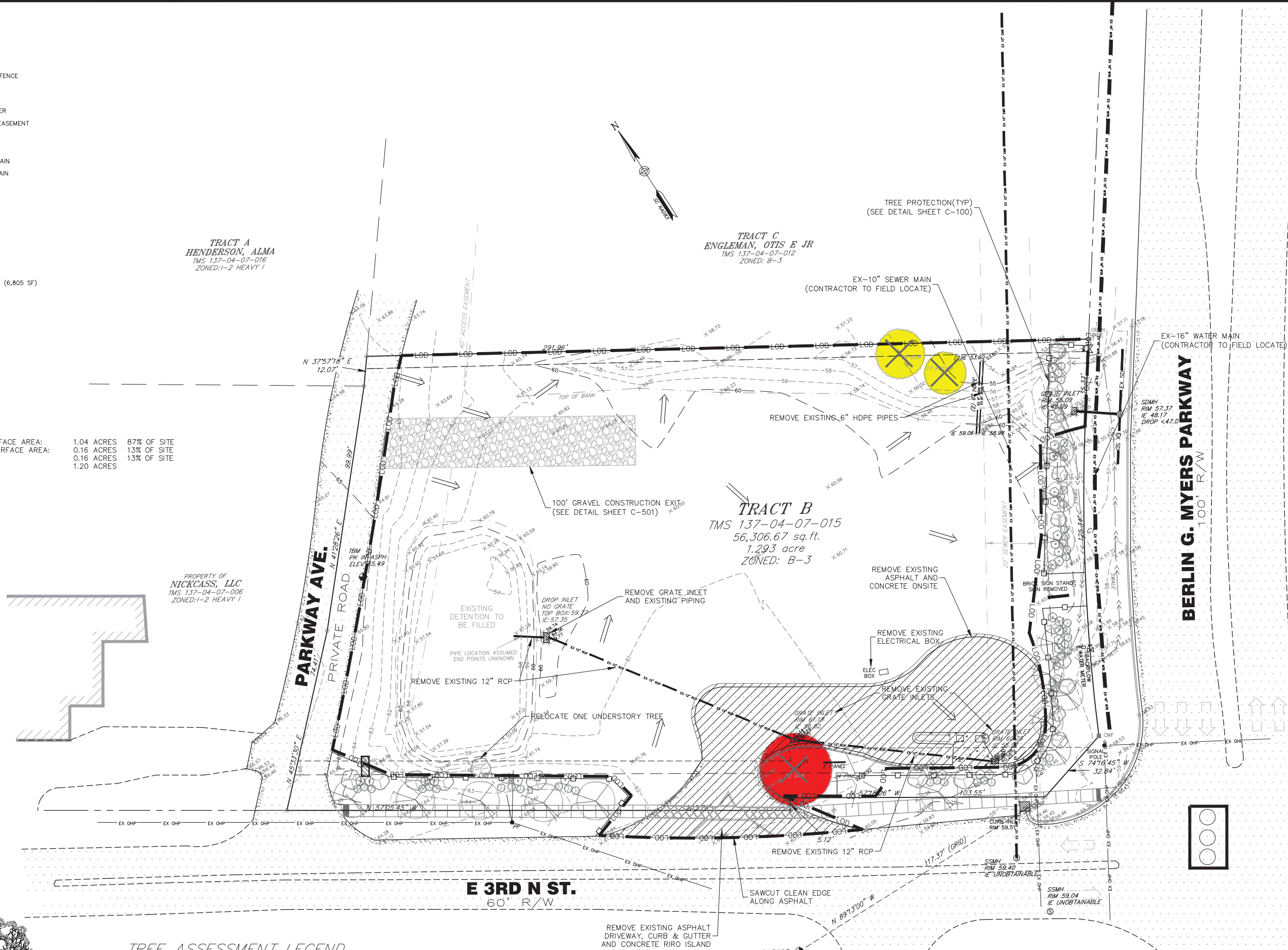
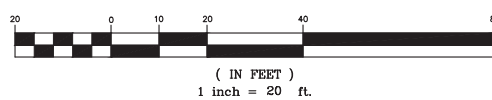


BENCH MARK DATA:
TBM#: PK NAIL IN ASPHALT ALONG PARKWAY AVE
ELEV.=65.49' DATUM: NGVD 88'

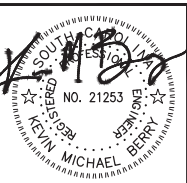
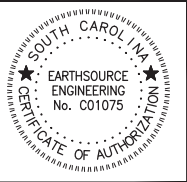
TREE ASSESSMENT LEGEND

- GOOD
FAIR
POOR

GRAPHIC SCALE



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1896 Johnnie Dotts Boulevard, Suite 200
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www.earthsourceeng.com
branch@earthsourceeng.com



**VETERINARY
SPECIALTY SUMMERVILLE**
319 E 3RD STREET
SUMMERVILLE, SC 29483
EXISTING CONDITIONS & EROSION CONTROL

REVISIONS	BY	DATE

DRAWN: TJM
CHECKED: KMB
DATE: 05.30.17
JOB NO.: 16-101

**PRELIM
DRB SET**

SHEET NUMBER
C-100

LIMITS OF DISTURBANCE = 1.2 ACRES

LEGEND:

	PROPERTY LINE
	ADJACENT PROPERTY
	EXISTING 8" PVC SEWER MAIN
	EXISTING 10" WATER MAIN
	EDGE OF PAVEMENT
	EXISTING UNDERGROUND POWER
	EXISTING INGRESS/EGRESS EASEMENT
	EXISTING UTILITY EASEMENT
	LIMITS OF DISTURBANCE
	EXISTING 24 HDPE STORM DRAIN
	EXISTING 18" CMP STORM DRAIN
	EX-ELECTRICAL BOX
	EX-SEWER MANHOLE
	EX-ASPHALT
	PROPOSED 8" WOOD STOCKADE FENCE
	PROPOSED 15" RCP
	PROPOSED 18" RCP
	PROPOSED 24" RCP
	PROPOSED OUTFALL BOX
	PROPOSED CURB INLET
	PROPOSED CONCRETE
	PROPOSED LIGHT-DUTY ASPHALT (18,485 SF)
	PROPOSED CONCRETE PAVERS

SITE SURFACES:

TOTAL PRE-DEVELOPED PERVIOUS SURFACE AREA:	1.04 ACRES	87% OF SITE
TOTAL PRE-DEVELOPED IMPERVIOUS SURFACE AREA:	0.16 ACRES	13% OF SITE
ASPHALT PARKING:	0.16 ACRES	13% OF SITE
TOTAL DISTURBED AREA:	1.20 ACRES	
TOTAL POST-DEVELOPED PERVIOUS SURFACE AREA:	0.37 ACRES	31% OF SITE
TOTAL POST-DEVELOPED IMPERVIOUS SURFACE AREA:	0.83 ACRES	69% OF SITE
BUILDING(S):	0.35 ACRES	29% OF SITE
ASPHALT PARKING, SIDEWALKS, ETC.:	0.48 ACRES	40% OF SITE
TOTAL DISTURBED AREA:	1.20 ACRES	

SITE DATA:

TMS#: 137-04-07-015
LOT SIZE (TOTAL): ±1.3 ACRES
AREA OF DISTURBANCE: 1.8 ACRES
FLOOD ZONE: X COMMUNITY PANEL
FIRM PANEL#: 45000680245C
DATE: APRIL 15, 1994
ZONED: B-3 (GENERAL BUSINESS)
BUFFERS:

FRONT: 10'
SIDE/EAST: 15'
REAR: 5'

SETBACKS:

FRONT: 20'
SIDE: 10'
REAR: 5'

PROPOSED VET CLINIC: 15,175 SQ.-FT.

PARKING REQUIRED:

-OFFICE: (15,175 SQ.FT.)

-1 SPACE PER 300 SQ.-FT. = 51 SPACES

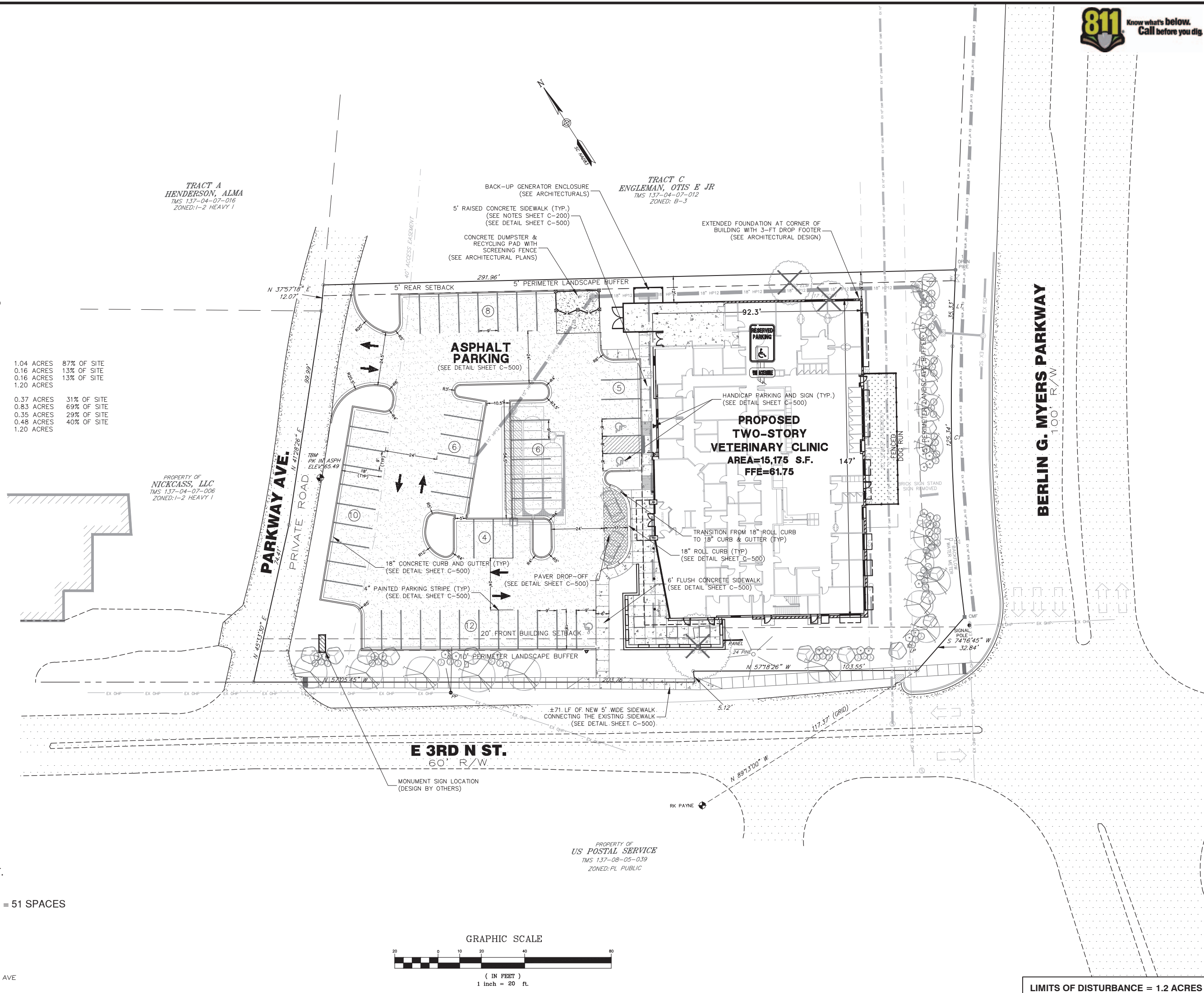
HANDICAP: 1 PER 25 SPACES

PARKING PROVIDED:

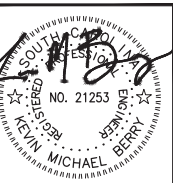
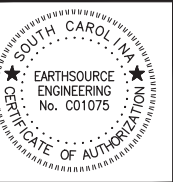
REGULAR =48 SPACES
HANDI =3 SPACES
TOTAL =51 SPACES

BENCH MARK DATA:

TBM#: PK IN ASPHALT ALONG PARKWAY AVE
ELEV.=65.49' DATUM: NAVD88



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**VETERINARY
SPECIALTY SUMMERVILLE**
319 E 3RD STREET
SUMMERVILLE, SC 29483

SITE & LAYOUT PLAN

NO.	DATE	REVISIONS	BY

DRAWN: TJM
CHECKED: KMB
DATE: 05.30.17
JOB NO.
16-101

**PRELIM
DRB SET**

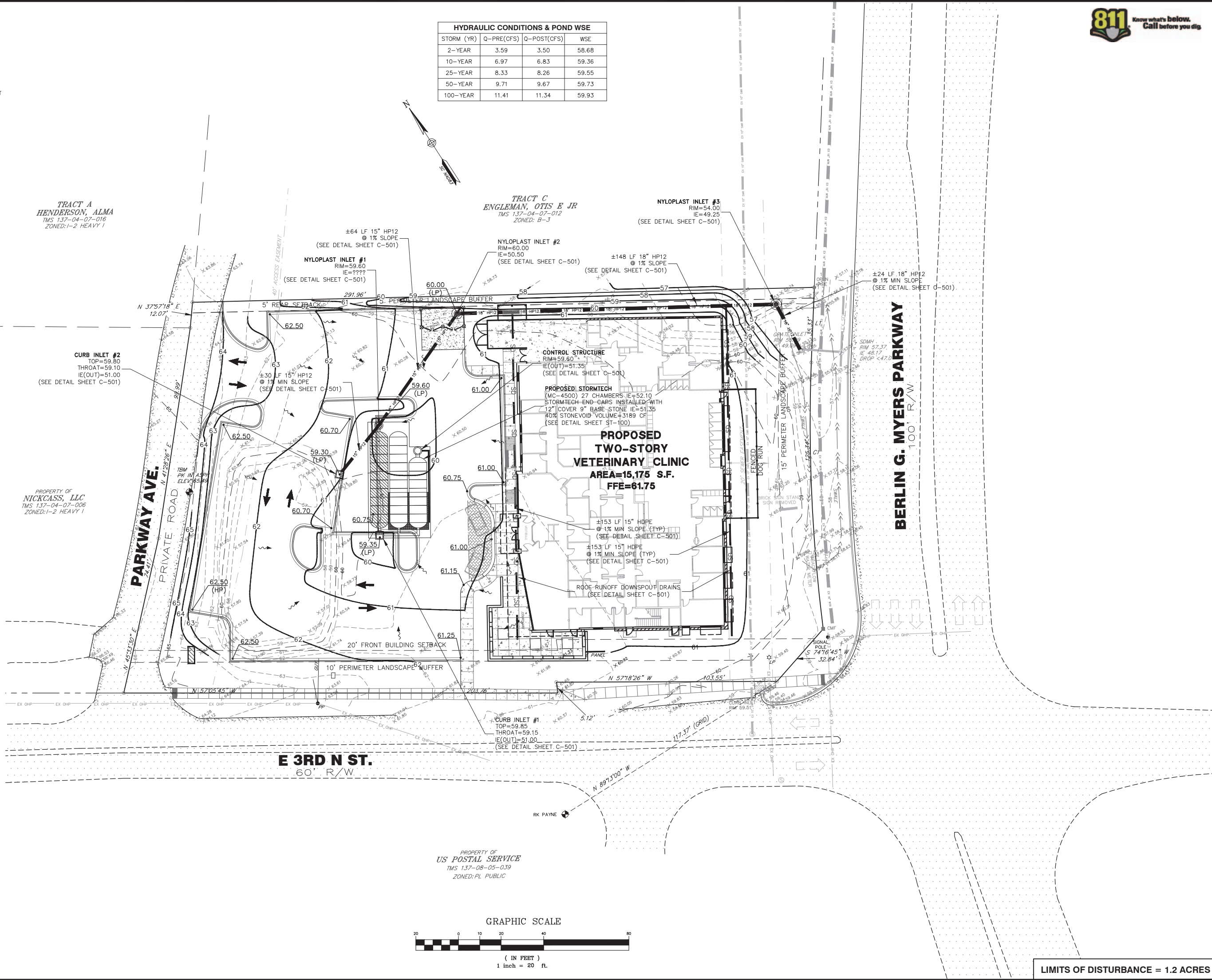
SHEET NUMBER
C-200

LIMITS OF DISTURBANCE = 1.2 ACRES

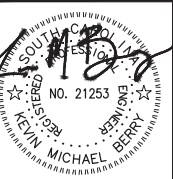
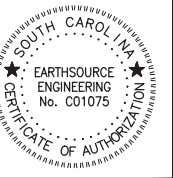
- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY
 - EXISTING 8" PVC SEWER MAIN
 - EXISTING 10" WATER MAIN
 - SILT FENCE
 - EDGE OF PAVEMENT
 - EXISTING CONTOURS
 - EXISTING UNDERGROUND POWER
 - EXISTING INGRESS/EGRESS EASEMENT
 - EXISTING UTILITY EASEMENT
 - LIMITS OF DISTURBANCE
 - EXISTING 24 HDPE STORM DRAIN
 - EXISTING 18" CMP STORM DRAIN
 - EXISTING DRAINAGE FLOW
 - EXISTING SPOT ELEVATION
 - EX-ELECTRICAL BOX
 - EX-SEWER MANHOLE

- EX-ASPHALT
- PROPOSED SPOT ELEVATION TOP OF PAVEMENT (TYP.)
- PROPOSED SPOT ELEVATION TO MATCH EXISTING PAVEMENT
- PROPOSED SPOT ELEVATION TOP OF SIDEWALK (TYP.)
- LOW POINT/ HIGH POINT IN PAVEMENT SCTN. (TYP.)
- PROPOSED DRAINAGE FLOW
- PROPOSED OUTFALL BOX
- PROPOSED CURB INLET
- RIP RAP

HYDRAULIC CONDITIONS & POND WSE			
STORM (YR)	Q-PRE(CFS)	Q-POST(CFS)	WSE
2-YEAR	3.59	3.50	58.68
10-YEAR	6.97	6.83	59.36
25-YEAR	8.33	8.26	59.55
50-YEAR	9.71	9.67	59.73
100-YEAR	11.41	11.34	59.93



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**VETERINARY
SPECIALTY SUMMERVILLE**
319 E 3RD STREET
SUMMERVILLE, SC 29483

GRADING & DRAINAGE PLAN

REVISIONS	
NO.	DATE

DRAWN: TJM
CHECKED: KMB
DATE: 05.30.17
JOB NO.
16-101

**PRELIM
DRB SET**
SHEET NUMBER
C-300

LIMITS OF DISTURBANCE = 1.2 ACRES

LEGEND:

- PROPERTY LINE
ADJACENT PROPERTY
EXISTING 8" PVC SEWER MAIN
EXISTING 10" WATER MAIN
EDGE OF PAVEMENT
EX UGP
EXISTING UNDERGROUND POWER
EXISTING INGRESS/EAGRESS EASEMENT
EXISTING UTILITY EASEMENT
LIMITS OF DISTURBANCE
EXISTING 24 HDPE STORM DRAIN
EXISTING 18" CMP STORM DRAIN
EX-ELECTRICAL BOX
EX-SEWER MANHOLE
EX-ASPHALT
PROPOSED 8" WOOD STOCKADE FENCE
PROPOSED 15" RCP
PROPOSED 18" RCP
PROPOSED 24" RCP
PROPOSED 2" WATER LINE
PROPOSED 4" DIP FIRE LINE
PROPOSED 6" DIP FIRE LINE
PROPOSED 6" SEWER SERVICE
PROPOSED OUTFALL BOX
PROPOSED CURB INLET
PROPOSED FIRE HYDRANT
PROPOSED TEE
PROPOSED WATER TAP
PROPOSED WATER METER
PROPOSED BACKFLOW PREVENTER
PROPOSED GREASE TRAP
PROPOSED SEWER CLEANOUT

SPECIAL NOTES:

1. ALL PIPING AND HYDRANTS INSTALLED AFTER THE METER WILL BE PRIVATELY OWNED, THE HYDRANT SHALL BE PAINTED A COLOR OTHER THAN RED.

TRACT A
HENDERSON, ALMA
TMS 137-04-07-016
ZONED: I-2 HEAVY I

TRACT C
ENGLEMAN, OTIS E JR
TMS 137-04-07-012
ZONED: B-3

PROPERTY OF
NICKCASS, LLC
TMS 137-04-07-006
ZONED: I-2 HEAVY I

PROPERTY OF
US POSTAL SERVICE
TMS 137-08-05-039
ZONED: PL PUBLIC

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

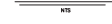
LIMITS OF DISTURBANCE = 1.2 ACRES

NO.	DATE	REVISIONS	BY

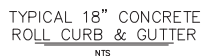
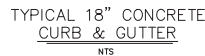
DRAWN: TJM
CHECKED: KMB
DATE: 05.30.17
JOB NO.
16-101

**PRELIM
DRB SET**

SHEET NUMBER
C-400



NOTES:
• CONTROL JOINTS & EXPANSION JOINTS SHALL BE SPACED AT 21'



CONTRACTOR TO SUBMIT MANUFACTURER'S
SAMPLES TO OWNERS REPRESENTATIVE FOR
FINAL APPROVAL.



ASPHALT PAVEMENT LAYER THICKNESS DESIGN:
CAR PARKING STALLS (LIGHT DUTY & LIGHT DUTY DRIVE AISLE):

- 1.5" TYPE I ASPHALT SURFACE COURSE*
 - 6" GRADED AGGREGATE BASE COURSE***
 - 12" EARTH-TYPE SUBBASE AT A MINIMUM 95% COMPACTION
- DRIVE AISLES (HEAVY DUTY):
- 2" ASPHALTIC CONCRETE SURFACE COURSE
 - 8" GRADED AGGREGATE BASE COURSE***
 - 12" EARTH-TYPE SUBBASE AT A MINIMUM 95% COMPACTION

*: TYPE I-C ASPHALT CEMENT SURFACE COURSE; SECTION 403, PAGE 302
OF SCDOT STANDARD SPECIFICATIONS
**: TYPE I-C ASPHALT CEMENT BINDER COURSE; SECTION 402, PAGE 299
OF SCDOT STANDARD

BASE MATERIAL SECTION:

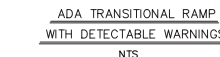
- THE BASE COURSE MATERIAL SHOULD BE A GRADED AGGREGATE BASE COURSE (GABC) CONFORMING TO SCDOT STANDARD SPECIFICATION, SECTION 305 AND SHALL BE COMPACTED TO 100% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.

GENERAL PAVEMENT RECOMMENDATIONS:

- NORMAL PERIODIC MAINTENANCE WILL BE REQUIRED.
- IT IS RECOMMENDED THAT THE PLACEMENT OF THE ASPHALT AND THE GABION BE OBSERVED AND TESTED BY A GEOTECHNICAL ENGINEER OR QUALIFIED ENGINEERING TECHNICIAN AS PLACEMENT OF THE FILL PROGRESSES.
- COMPACTION TESTING SHOULD BE PERFORMED AT A MINIMUM FREQUENCY OF 1 TEST PER 100 FT PER 200 FEET OF LANE.
- COMPACTION ACTIVITIES AND EXPOSURE TO THE ENVIRONMENT CAN CAUSE DETERIORATION OF THE PREPARED SUBGRADES. FOR THIS REASON, IT IS RECOMMENDED THAT THE SUBGRADES BE INSPECTED PRIOR TO THE PLACEMENT OF ASPHALT.



- [illegible]

[illegible]

DRAWN:	TJM
CHECKED:	KMB

DATE: 05.30.17
JOB NO.
16 101

16-101

DEFL

PRELIM

DRB SET

SHEET NUMBER
C-500

PLANT SCHEDULE

BOTANI CAL NAME	COMMON NAME	QUANTI TY	SI ZE	CALI PER	SPACI NG
TREES					
QUERCUS VIRGINIANA	LIVE OAK	4	8'-10"	2 1/2"	AS SHOWN
QUERCUS LAURIFOLIA	LAUREL OAK	10	8'-10"	2 1/2"	AS SHOWN
ACER RUBRUM	RED MAPLE	2	8'-10"	2 1/2"	AS SHOWN
TULIPUS PARVIFOLIA	CHINESE ELM	2	8'-10"	2 1/2"	AS SHOWN
QUERCUS PRINUS	WILLOW OAK	2	8'-10"	2 1/2"	AS SHOWN
LIRODENDRON TULIPIFERA	BALD CYPRESS	6	8'-10"	2 1/2"	AS SHOWN
UNDERSTORY TREES					
MAGNOLIA GRANDIFLORA	LITTLE GEM MAGNOLIA	4	6'-8"	2"	AS SHOWN
LACINIA STRUM	CREPE MYRTLE	4	6'-8"	2"	AS SHOWN
SABAL PALMETTO	PALM TREE	11	6'-8"	2"	AS SHOWN
SHRUBS					
CLEYERA JAPONICA	CLEYERA	22	3' GAL		2' OC
RHAPHIOLEPS INDICA	DWARF INDIAN HAWTHORNE	6	3' GAL		2' OC
LILICORDIA	JAPANESE HOLLY	8	3' GAL		2' OC
LIGUSTRUM VULGARE	LIGUSTRUM	10	3' GAL		2' OC
NANDINA DOMESTICA	NANDINA	17	3' GAL		2' OC
PITOSPORIUM TOBIKA	PITOSPORIUM	24	3' GAL		2' OC
PANICUM VIRGATUM	SWITCHGRASS	29	3' GAL		2' OC
GROUND COVER					
SEASONAL FLOWERS	ANNUALS	50 FT.	4" POTS		18" OC
LIRIOPE FLUSCARI	LIRIOPE	64	1 GAL		AS SHOWN
LAWN					
ZOYSIA TENUIFOLIA (SOD)	ZOYSIA				
MULCH					
BRUSH	PINE STRAW	ESTIMATE	BALES	FRESH, DRY, NO STICKS	

PLANT SCHEDULE

TREES

COMMON NAME
LIVE OAK

COMMON NAME
LAUREL OAK

COMMON NAME
RED MAPLE

COMMON NAME
CHINESE ELM

COMMON NAME
WILLOW OAK

COMMON NAME
TULIP POPLAR

UNDERSTORY TREES

BOTANICAL NAME
LITTLE GEM MAGNOLIA

BOTANICAL NAME
CREPE MYRTLE

BOTANICAL NAME
SABAL PALMETTO

SHRUBS, GROUNDCOVERS AND GRASSES

BOTANICAL NAME
CLEYERA

BOTANICAL NAME
DWARF INDIAN HAWTHORNE

BOTANICAL NAME
JAPANESE HOLLY

BOTANICAL NAME
LIGUSTRUM

BOTANICAL NAME
NANDINA

BOTANICAL NAME
PITOSPORIUM

BOTANICAL NAME
SWITCHGRASS

BOTANICAL NAME
LIRIOPE

BOTANICAL NAME
ANNUALS

BOTANICAL NAME
EMPIRE ZOYSIA GRASS

INTERNAL LANDSCAPING:

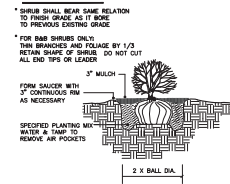
TOTAL POST-DEVELOPMENT IMPERVIOUS AREA = 1.50 ACRES (65,466 SF)
TOTAL REQUIRED LANDSCAPING AREA (INTERNAL) = 0.15 ACRES (6,547 SF)
TOTAL PROVIDED = 0.17 ACRES (7,524 SF)
* 1 CANOPY TREE + 3 SHRUBS PER 12 PARKING SPACES REQUIRED
REQUIRED: 12 CANOPY TREES & 34 SHRUBS
PROVIDED: 19 CANOPY TREES & 66 SHRUBS

PLANT SCHEDULE NOTES:

LANDSCAPER CONTACT: KEVIN BERRY AT EARTHSOURCE ENGINEERING WITH ANY QUESTIONS REGARDING THESE PLANS.

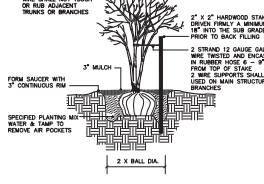
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING WORK AS SPECIFIED ON THESE PLANS.
- SIZE OF PLANT MATERIALS SHALL CONFORM WITH THE CURRENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERY MEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
- THERE WILL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT APPROVAL OF THIS OFFICE.
SPECIAL NOTE: NO GROUND COVER, JUNIPER OR DAY LILY TO BE USED AS SUBSTITUTION PLANTS OR FILLER.
- ALL DISTURBED AREAS ARE TO BE MULCHED OR SOODED UNLESS OTHERWISE NOTED.
- ALL TREES TO HAVE SAUCERS (BERMS) AS DETAILED.
- STAKE AND GUY TREES AS PER DETAILS. COVER RING WITH 4" CIRCLE OF PINE STRAW. A MINIMUM LAYER OF 3 INCHES OF PINE STRAW SHALL BE PLACED AROUND ALL PLANTED MATERIAL.
- PROPERTY OWNER AGREES TO MAINTAIN NEW PLANTINGS IN A HEALTHY CONDITION. IRRIGATION DESIGN, WARRANTY, SOD, & MATERIALS IS RESPONSIBILITY OF LANDSCAPE INSTALLER.

NOTE:



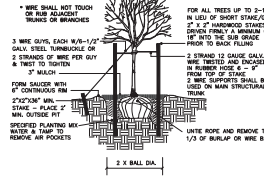
1 SHRUB PLANTING
SCALE: NOT TO SCALE

NOTE:



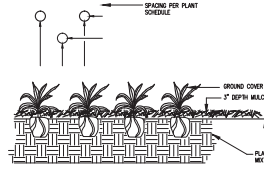
2 MULTI-TRUNK TREE
SCALE: NOT TO SCALE

NOTE:



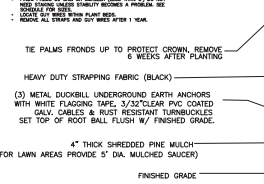
3 TREE STAKING DETAIL
SCALE: NOT TO SCALE

NOTE:

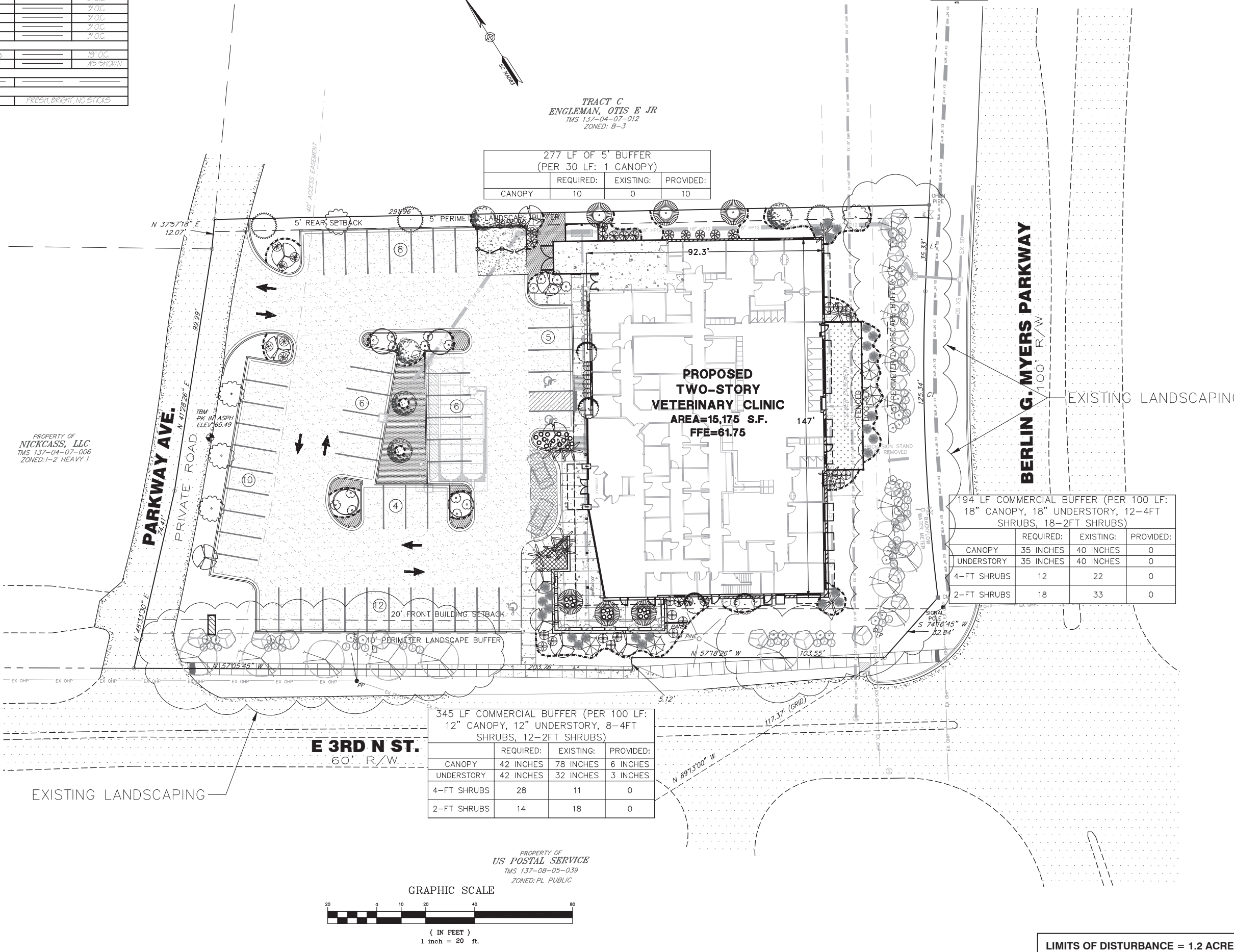


4 GROUND COVER DETAIL
SCALE: NOT TO SCALE

NOTE:



5 PALM TREE PLANTING DETAIL
SCALE: NOT TO SCALE



EARTHSOURCE
ENGINEERING
CIVIL ENGINEERING | SITE PLANNING
LANDSCAPE DESIGN | LEED DESIGN
Office: 843.881.0525
branch@earthsourceeng.com

SOUTH CAROLINA
EARTHSOURCE
ENGINEERING
No. C01075
STATE OF AUTHORIZATION

SOUTH CAROLINA
MICHAEL BERRY
No. 21253
RECEIVED

VETERINARY SPECIALTY SUMMERVILLE
319 E 3RD STREET
SUMMERVILLE, SC 29483
LANDSCAPE PLAN & PLANT SCHEDULE

REVISIONS	BY	DATE	NO.

DRAWN: TJM
CHECKED: KMB
DATE: 05.30.17
JOB NO: 16-101
PRELIM
DRB SET
SHEET NUMBER
L-100

LIMITS OF DISTURBANCE = 1.2 ACRES



EXISTING SITE

VIEW FROM E 3RD N ST

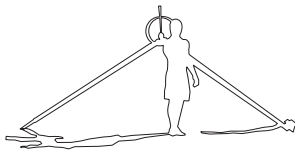
EXISTING CURB CUT
TO BE ABANDONED

TREE TO BE REMOVED



VETERINARY SPECIALTY CARE
SUMMERVILLE, SC

DATE : 05.31.17
A 004



EXISTING SITE CONTEXT 1

CDRB STAMP



VIEW FROM E 3RD N ST : ADJACENT SITE - DELUXE CLEANERS
401 N GUM ST



VIEW FROM E 3RD N ST : US POST OFFICE 301 N GUM ST



VIEW FROM BERLIN G MYERS PKWY : PALMETTO STATE ARMORY 366 E 5TH N ST



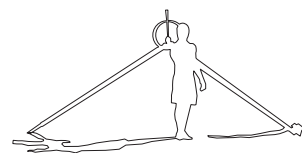
VIEW FROM BERLING MYERS : ASHLEY GARDENS
401 E 3RD N ST

VETERINARY SPECIALTY CARE

SUMMERVILLE, SC

DATE : 05.31.17

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EXISTING SITE CONTEXT 2

CDRB STAMP



VIEW FROM BERLIN G MYERS PKWY RESTAURANT – 106 PARKWAY AVE



VIEW FROM BERLIN G MYERS PKWY : SHOPPING CENTER – 330 E 5TH N ST

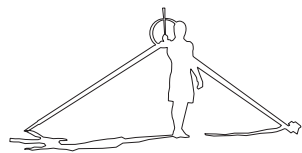


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SUMMERVILLE, SC

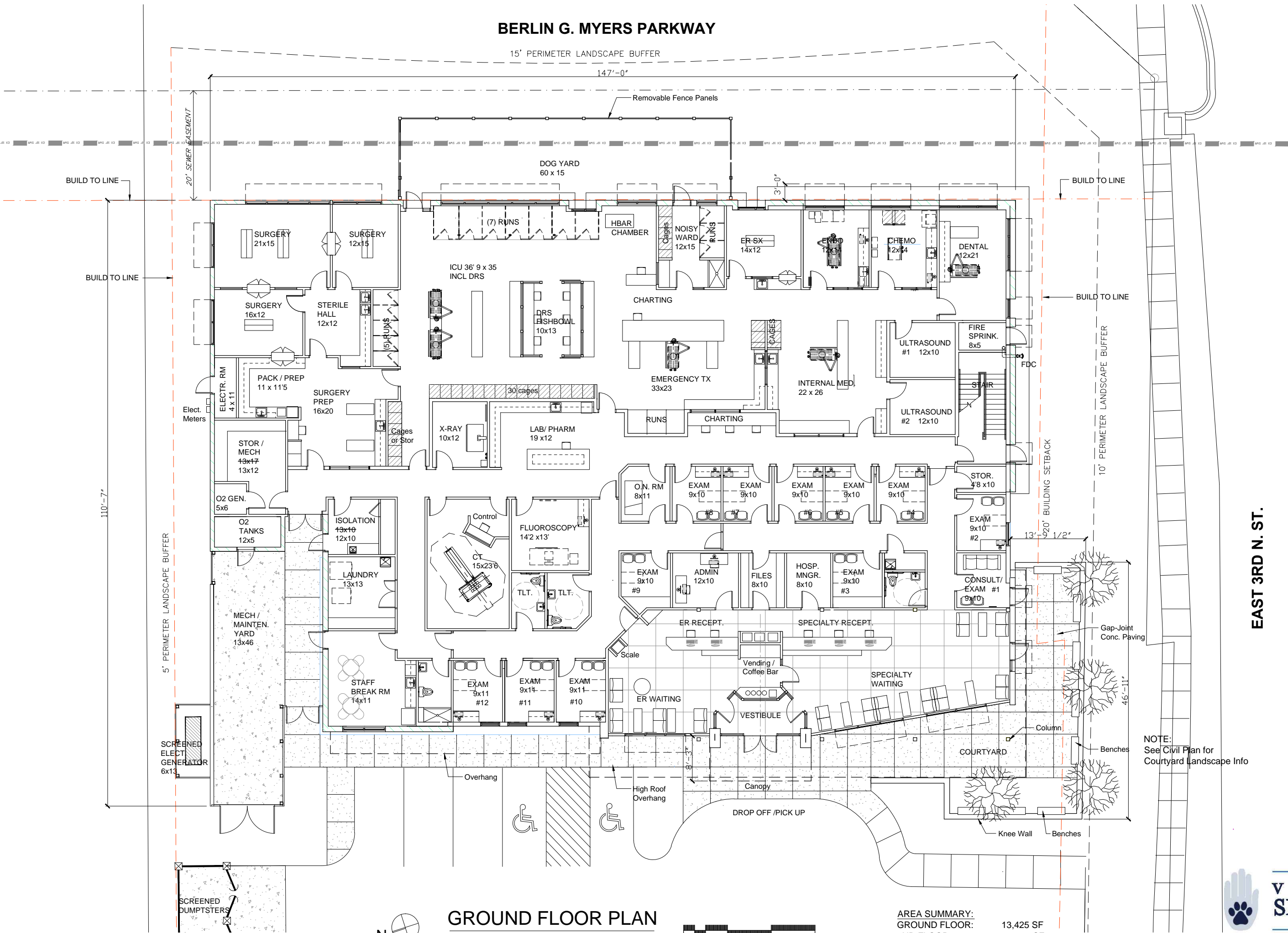
DATE : 05.31.17

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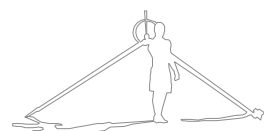


GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



AREA SUMMARY:	
GROUND FLOOR:	13,425 SF
2ND FLOOR:	1,750 SF
TOTAL	15,175 SF Conditioned



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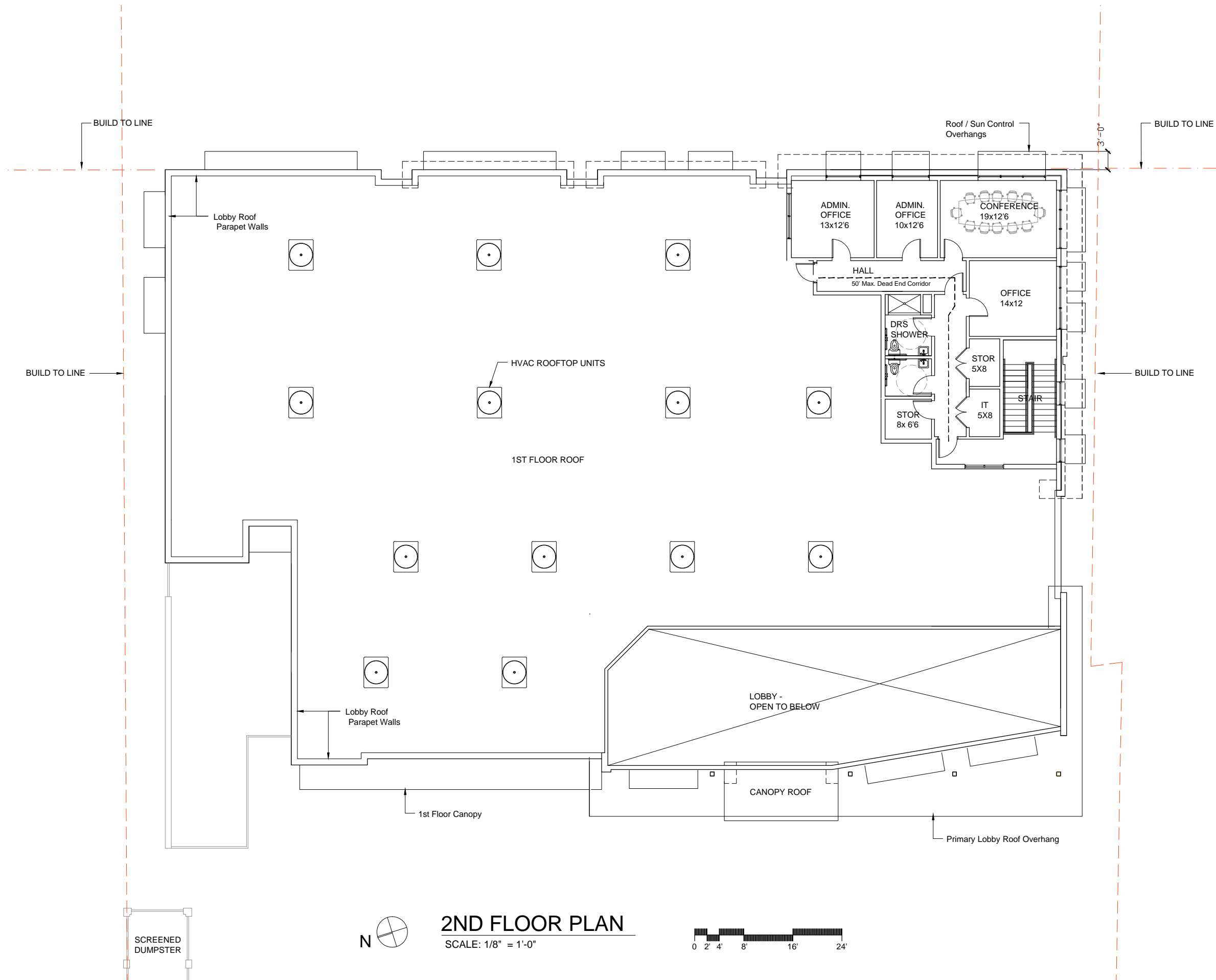
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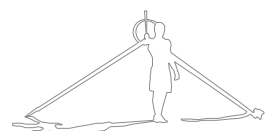
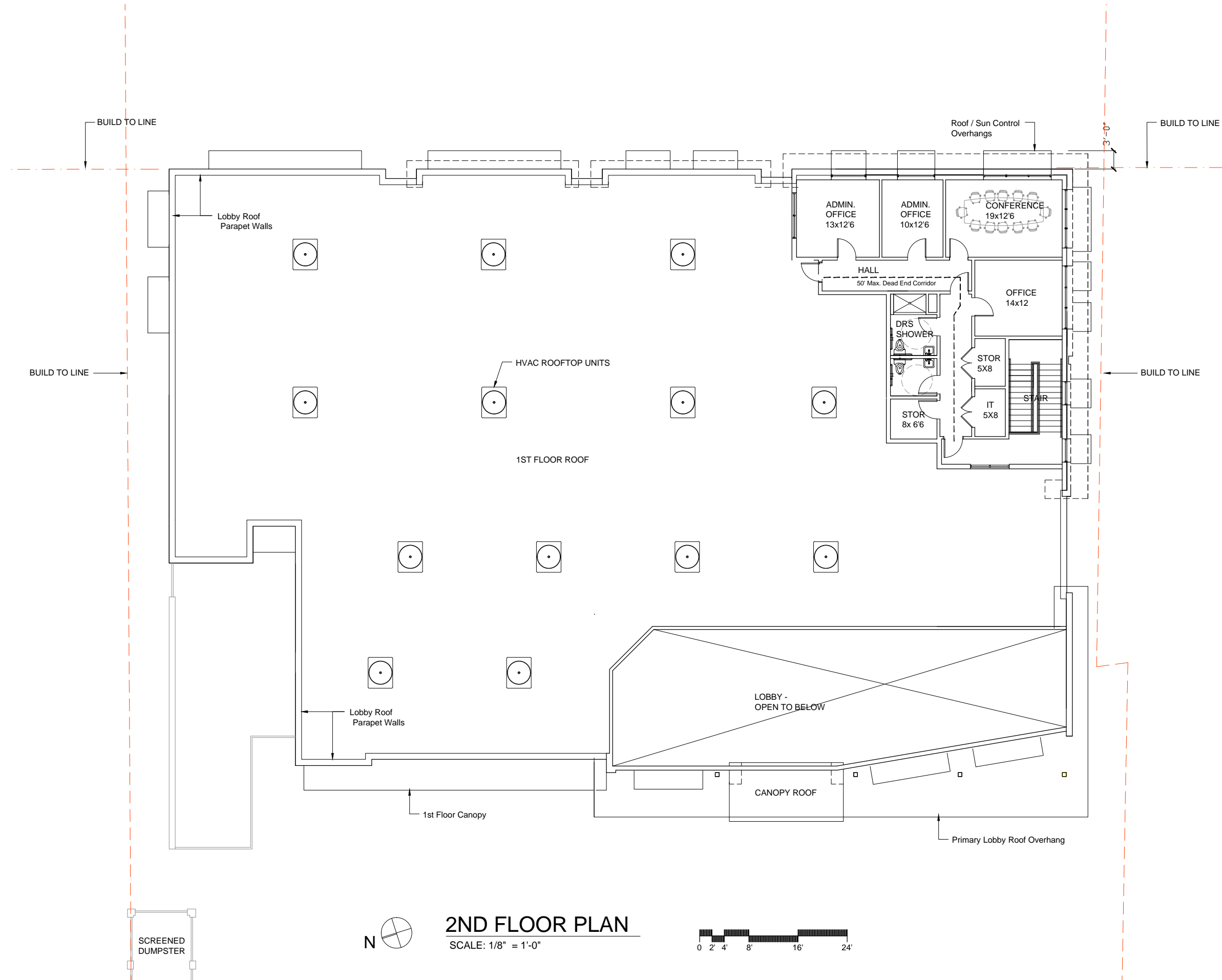


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—SUMMERVILLE—

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VETERINARY SPECIALTY CARE
SUMMERVILLE, SC
Date: 5/31/2017

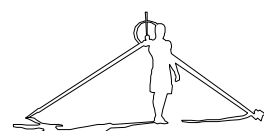
A101







SE Birdseye View - Berlin Myers & 3rd N St Intersection



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SUMMERVILLE, SC
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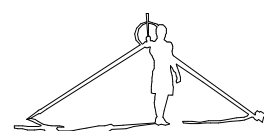
BIRDS EYE (VIEW FROM NORTH)



**VETERINARY
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— SUMMERVILLE —

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VETERINARY SPECIALTY CARE
SUMMERVILLE, SC
Date: 05/31/17

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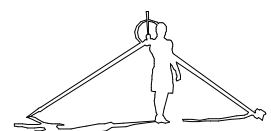
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BIRDS EYE (VIEW WEST)



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SUMMERVILLE, SC
Date: 05/31/17

A112



BIRDSEYE VIEW FROM E 3RD N STREET





PRIMARY ENTRY AND COURTYARD
PERSPECTIVE (VIEW EAST)



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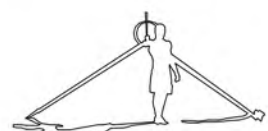
MOUNT PLEASANT, SC 29464

DESIGN DEVELOPMENT PHASE
VETERINARY SPECIALTY CARE
SUMMERVILLE, SC DATE: 05/31/17

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INTERSECTION OF EAST 3RD NORTH ST AND BERLIN G MYERS PKWY
PERSPECTIVE (VIEW NORTH-EAST)



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DESIGN DEVELOPMENT PHASE
VETERINARY SPECIALTY CARE
SUMMERVILLE, SC DATE: 05/31/17

A115



PERSPECTIVE VIEW ALONG BERLIN G MYERS PKWY
TOWARDS EAST 3RD N ST



**VETERINARY
SPECIALTY CARE**



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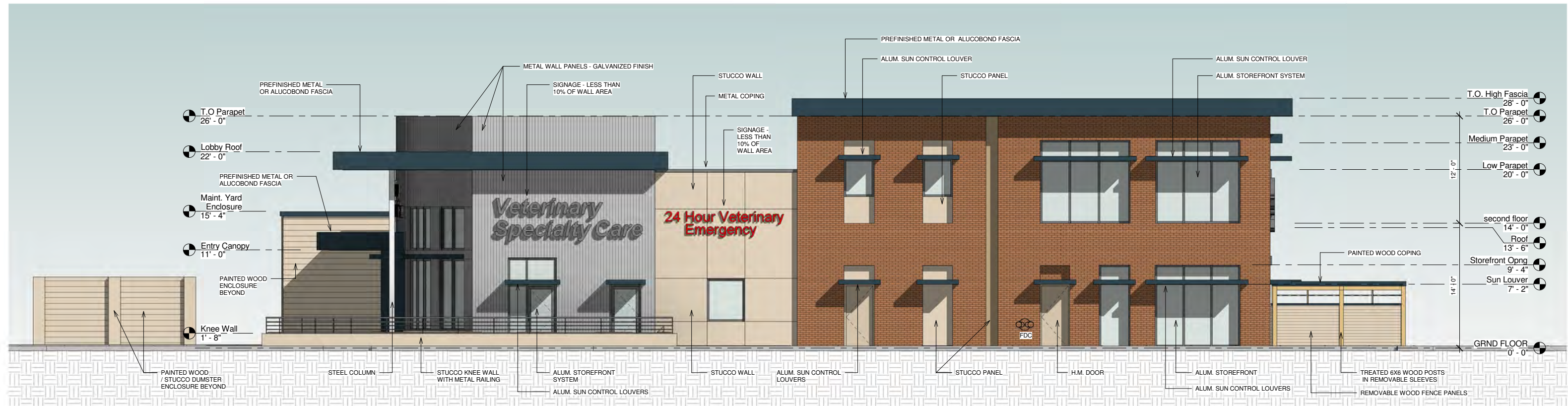
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DESIGN DEVELOPMENT PHASE
VETERINARY SPECIALTY CARE
SUMMERVILLE, SC DATE: 05/31/17

A116



South Elevation - East 3rd North St
Scale: 3/16"=1'-0"



West Elevation - Parking
Scale: 3/16"=1'-0"

Note: Signage by Others



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SUMMERVILLE, SC
Date: 05/31/2017

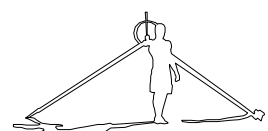
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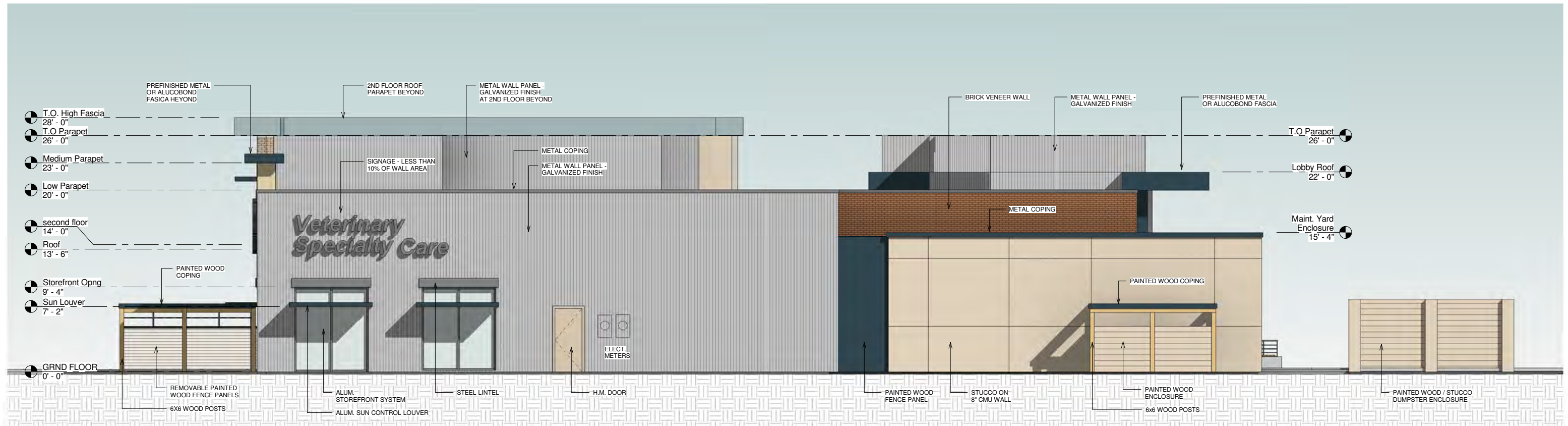
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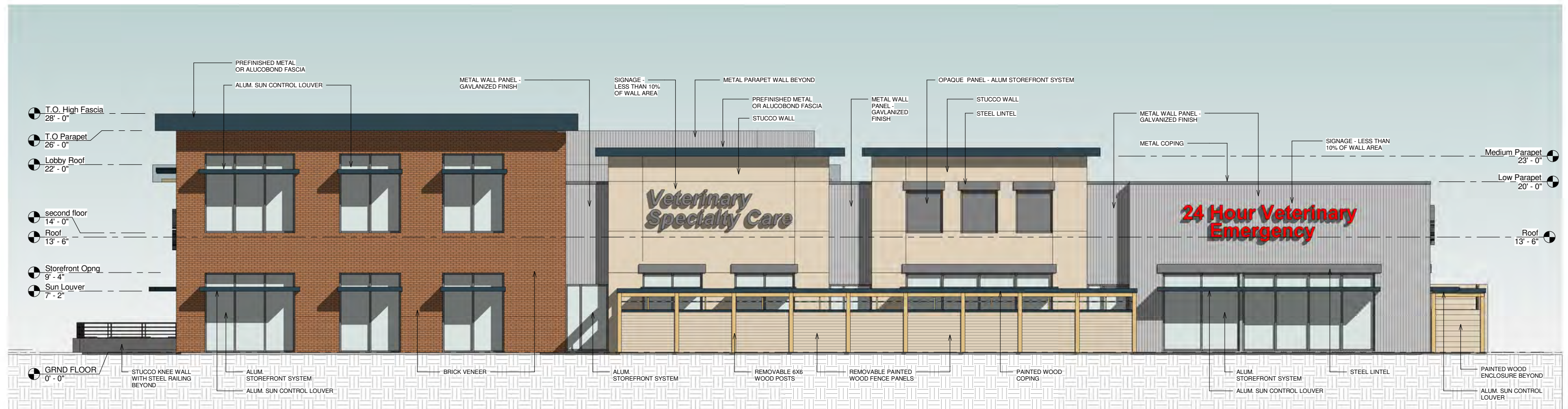
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North Elevation - Rear
Scale: 3/16"=1'-0"



East Elevation - Berlin Myers Parkway
Scale: 3/16"=1'-0"

Note: Signage by Others



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CURRENT FACILITY : MT PLEASANT, SC
EXTERIOR MATERIAL PALETTE REFERENCE



VERTICAL
METAL
ACCENT PANEL

STOREFRONT
SYSTEM

VERTICAL
METAL ACCENT
PANEL
ENLARGMENT



BRICK FACADE



VETERINARY SPECIALTY CARE

SUMMERVILLE, SC

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A 300

